



**City of Ketchum
Planning & Building**

Pre-Application Design Review

OFFICIAL USE ONLY	
File Number:	P24-069
Date Received:	7/31/24
By:	GB
Pre-Application Fee Paid:	\$3300
Design Review Fee Paid:	
By:	

Submit completed application and documentation to planningandbuilding@ketchumidaho.org. If you have questions, please contact the Planning and Building Department at (208) 726-7801. Design Review criteria, zoning regulations, and development standards are specified in Title 17 of Ketchum Municipal Code, which may be viewed by clicking the link [here](#). You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION			
Project Name: 691 1st Ave Multifamily Project		Phone: 415.305.4554	
Owner: Jim Helfrich & Gary McCarthy		Mailing Address:	
Email: jimhelfrich16@gmail.com & g.w.mccarthy777@gmail.com		12 Coffin Street, Nantucket, MA, 02554	
Architect/Representative: Daniel Hollis (Hollis Partners Architects)		Phone: 208.721.7160	
Email: daniel@hp-architects.com		Mailing Address:	
Architect License Number: AR985372		PO Box 1769, Sun Valley, Idaho 83353	
Engineer of Record: NA		Phone: NA	
Email: NA		Mailing Address:	
Engineer License Number: NA			
Primary Contact Name and Phone Number: Daniel Hollis 208.721.7160			
PROJECT INFORMATION			
Legal Land Description: Ketchum Lot 1, Blk 54		Street Address: 691 N 1st Ave Ketchum	
Lot Area (Square Feet): 8,241 sf		Zoning District: CC#2	RPK #: 00000540010
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain <input checked="" type="checkbox"/> None			
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: Residential - Multifamily		Number of Residential Units: 6 Units	
GROSS FLOOR AREA			
	Proposed	Existing	
Basements		Sq. Ft.	Sq. Ft.
1 st Floor	3,857	Sq. Ft.	Sq. Ft.
2 nd Floor	6,135	Sq. Ft.	Sq. Ft.
3 rd Floor	6,026	Sq. Ft.	Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total	15,998	Sq. Ft.	Sq. Ft.
FLOOR AREA RATIO			
Community Core: Proposed 1.94		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 3,857 sf / 8,241 sf = 46.8% of building footprint			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: Proposed 3'-0" 2nd flr 1st Ave	Side: 4" to 3'-3" on South	Side: 2'-8" to 5'-0" 7th St	Rear: 3'-0" alleyway
Building Height: Approx. 46' to top of stair tower at roof top deck			
OFF STREET PARKING			
Parking Spaces Provided: 8 plus (1) ADA	Curb Cut: 0	Sq. Ft.	% 0

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Daniel Hollis (Hollis Partners Architects)

07/26/2024

Signature of Owner/Representative

Date

PRE-APPLICATION DESIGN REVIEW SUBMITTAL CHECKLIST

A Pre-Application Design Review submittal shall include the materials listed in the following table in digital format. Please fill out the checklist in the table below and include the sheet number(s) where the required submittal material may be found in the project plan set. The applicant may elect to provide more details, additional plan sheets, and other supplemental materials not listed in the checklist at their discretion.

PRE-APPLICATION DESIGN REVIEW SUBMITTAL CHECKLIST		
Submitted by Applicant	Plan Sheet Number(s)	Pre-Application Required Materials
YES <input type="checkbox"/>	N/A	Project Narrative: A project narrative describing the approach and concept of the project and how the project meets the applicable design review criteria. <i>(narrative shall include a response to each applicable criteria)</i>
YES <input type="checkbox"/>		Conceptual Site Plan: A conceptual site plan showing proposed on and off-site improvements. Site plan shall include conceptual landscaping and public amenities. Detailed plant list not required.
YES <input type="checkbox"/>		Conceptual Elevations and Floor Plans: Elevations and floor plans for all facades and all levels shall be provided. Elevations shall depict materiality, however, colored renderings not required.
YES <input type="checkbox"/>		Conceptual Materials and Color Palette: Materials and colors sample board shall be provided for all facades. Photos of materials, representative imagery, and other digital representation of concept is acceptable. Specifications of materials and colors are not required.
YES <input type="checkbox"/>		3D Perspectives: A minimum of two perspectives, one from a street view and one from bird’s eye view, showing the massing of the proposed project within the context of the surrounding neighborhood. Adjacent properties and structures must be included. Full color renderings or photo-realistic perspectives are not required.

Preapplication Design Review Standards

Preapplication review is required for all new non-residential and multi-family residential developments with four or more stories and all new developments on a lot or lots totaling 11,000 square feet or more. Applicants of projects exempt from preapplication design review may request a preapplication design review at their discretion.

Please note that projects that conducted a Pre-Application Design Review meeting with the Planning & Zoning Commission, as required or voluntary, must file a complete Design Review application and pay all required fees within 180 calendar days of the last review meeting on the Pre-Application with the Commission, otherwise the Pre-Application review will become null and void.

The purpose of preapplication review is to allow the Commission to exchange ideas and give direction to the applicant on the "design concept", keeping in mind the purpose of this chapter and the application of the evaluation standards.

Design Review Evaluation Standards

17.96.060: Improvements and Standards

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
2. All street designs shall be approved by the City Engineer.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
2. Sidewalk width shall conform to the city's right of way standards; however the city engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
3. Sidewalks may be waived if one of the following criteria is met:
 - i. The project comprises an addition of less than two hundred fifty (250) square feet of conditioned space.
 - ii. The city engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
4. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
5. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

6. The city may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the city engineer. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
4. Drainage facilities shall be constructed per city standards.

D. Utilities:

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
2. Utilities shall be located underground and above grade utility, power and communication equipment within the development site shall be concealed from public view.
3. When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.

E. Compatibility of Design:

1. The project's materials, colors and signing shall be complementary to the townscape, surrounding neighborhoods and adjoining structures.
2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.

F. Architectural:

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
2. The building character shall be clearly defined by use of architectural features.
3. There shall be continuity of materials, colors and signing within the project.
4. Accessory structures, fences, walls, and landscape features within the project shall match or complement the principal building.
5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
6. Building(s) shall orient towards their primary street frontage.

7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
8. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.

G. Circulation Design:

1. Pedestrian, equestrian, and bicycle access shall be located to connect with existing and anticipated easements and pathways.
2. Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian, and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
4. Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.

H. Snow Storage:

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
2. Snow storage areas shall be provided on-site.
3. A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
4. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.

I. Landscaping:

1. Landscaping is required for all projects.
2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
3. All plant species shall be drought tolerant. Native species are recommended but not required.
4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.

J. Public Amenities:

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission.

17.96.070: COMMUNITY CORE (CC) PROJECTS

In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.

A. Streets:

1. Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
2. Street trees with a minimum caliper size of three inches (3"), shall be placed in tree grates.
3. Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.

B. Architectural:

1. Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials and colors as the front façade.
2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
4. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
5. All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters and downspouts.
6. Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Director.
7. Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.

C. Service Areas and Mechanical/Electrical Equipment:

1. Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
2. Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.

D. Landscaping:

1. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
2. Trees that are placed within a courtyard, plaza or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
3. The city arborist shall approve all parking lot and replacement trees.

E. Surface Parking Lots:

1. Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
2. Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
3. Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.

F. Bicycle Parking:

1. One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development on private property. Bike racks shall not be located in the public right-of-way.
2. When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
3. Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest.



PO Box 1769 [post]
Sun Valley, ID 83353
220 River Street, East
Ketchum, ID 83340
v 208.721.7160

30th July 2024

Adam Crutcher

City of Ketchum – Design Review Committee
P.O. Box 2315
480 East Ave. N.
Ketchum, ID 83340

Dear City Planners / Design Review Committee,

We are excited to submit to you for “*Pre-App Design review*” our multi-family project (“**The 691 1st Ave Multifamily project**”) located at 691 N 1st Avenue, Ketchum. A 3 story, multifamily structure, **15,998 sf**, located on the north end of the community core. Currently proposed 6 residential units will be available for market rate sales, as well as a ground floor Storage/mechanical and parking areas.

The programming of the building is as follows:

Ground Level:

- Parking access from alley to the West.
- 11’ - 12’-0” High Ceilings.
- (2) Foyer/Entry Stairs/elevators for Upper Residential Units accessed from 7th street.
- Mechanical Space
- (1) 749 sf 2 bedroom, 1 bath residential unit with connection to outdoor space.
- Indoor Trash / Recycling area
- (3) tandem parking with each having an enclosed garage @ 256 SF each, accessed from the alleyway on the west side of the project.
- Storage lockers.
- Riser room.
- Additionally, (2) 310 sf enclosed garages including one ADA Van space are in and under the building accessed by a 12’ wide drive aisle from the alleyway on the west.
- Landscaped Entry courtyards.

Second Level:

- (2) Stair / elevator /Access Points to Residential Units
- (1) 4-bedroom, 4 bath unit, 1,933 square feet (#201)
- (1) 3-bedroom, 3.5 bath unit @ 1,770 square feet (#202)
- (1) 4-bedroom, 4.5 bath unit, 2,125 square feet (#203)
- Balconies and Terraces for Residential Units

- Mechanical Space

Third Level:

- (2) Stair / elevator /Access Points to Residential Units directly.
- (1) 4-bedroom, 4.5 bath penthouse unit, 3,143 square feet (#301)
- (1) 4-bedroom, 4.5 bath penthouse unit, 2,727 square feet (#302)
- Balconies and Terraces for Residential Units
- Mechanical

Roof Level:

- Outdoor mechanical area set at least 12' from any building edge.
- (2) roof top covered terraces, possible hot tub, and gas firepits for these areas.

We have proposed a mix of materials and colors that will hopefully enact a sense of vibrancy to this area of Ketchum. Key materials as per sample board images include a combination of natural stone, metal panels, wire brush vertical siding and metal clad windows/doors. We are proposing a wood-lintels over window openings. Lintels can contribute to architectural design and aesthetic appeal. The ground floor exterior we are proposing Natural stone to create a plinth for the upper floors to sit on and then on the upper floors a mixture of metal panel siding and vertical wood siding.

We are proposing to also break up the building mass / scale through the use balconies and plan undulations. We are proposing glass handrails on each of the decks to reduce the mass of the building on the corners and midpoints. The undulation in plan / elevation allows for material selection variations. The 3rd level walls on the corner to step back in plan to give a slight "wedding cake" affect.

We are proposing a private rooftop experience for each of the penthouses with two separate terraces covered with a trellis system. Each of the spaces will be separate and the in between space will serve as rooftop mechanical. Each of the terraces will be a pedestal paver area ad then the rest of the flat roof condition will be a ballast over membrane finish.

We are aiming on getting on the September 24th P&Z hearing date please.

We look forward to conversing more about at the September 24th P&Z hearing date, please feel free to ask any questions or for additional information that will assist in approving this project to the next level. We are excited to work with you on this project, and we look forward to starting the next phase of the design process.

Sincerely,



Daniel Hollis, Principal

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691 N 1st Avenue Multifamily Development Potential

Legal – Ketchum Lot 1, Blk 54, 691 N 1st Ave, Ketchum ID

Parcel Size – 8,241 SF

Dimensions – 55' on N. 1st Ave, 150' 7th Street to Alleyway

Permissible Gross Density @ 2.25 Floor Area Ratio (FAR) = 18,542.25 SF

Parking Requirement

Residential – one space over 750 (8 spaces required)

Project will provide 8 parking spaces, plus (1) Van Accessible parking space.

Maximum Building Height

42 Feet (Proposed 40'-0")

Setbacks

N. 1st Avenue - average of 5 feet (Refer to A2.5-2.7 sheets that show we are in compliance with Ave of 5' setback conditions)

7th Street – Average of 5 feet (Refer to A2.5-2.7 sheets that show we are in compliance with Ave of 5' setback conditions)

Alley - 3 feet

South Side – 0' (we are proposing a varying 4" – 3'-3" setback)



PO Box 1769 [post]
Sun Valley, ID 83353
220 E. River Street [courier]
Ketchum, ID 83340
v 208.721.7160

29th July 2024

City of Ketchum – Planners
P.O Box 2315
480 East Ave. N.
Ketchum, ID 83340

Dear City of Ketchum Planners,

This is HPA's statement on how the design concept/ project (691 1st Ave Multifamily) meets the city of Ketchum's design guidelines. The following response reacts to the Design review evaluation standards.



Birds eye view looking at the project from the north.

Design Review Evaluation Standards

17.96.060: Improvements and Standards

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development. *HPA Response: we are aware of this standard and the*

details will be provided at the time of formal design review application. Scope of design works to be completed by a licensed Civil Engineer (Opal Engineering).

2. All street designs shall be approved by the City Engineer. *HPA Response; we are aware of this standard and the details will be provided at the time of formal design review application. Scope of works to be completed by a licensed Civil Engineer (Opal Engineering)*

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department. *HPA Response; Confirmed.*

2. Sidewalk width shall conform to the city's right of way standards; however, the city engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. *HPA Response; Confirmed.*

3. Sidewalks may be waived if one of the following criteria is met:

i. The project comprises an addition of less than two hundred fifty (250) square feet of conditioned space. *HPA Response; NA*

ii. The city engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. *HPA Response; NA*

4. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. *HPA Response; confirmed, the proposed sidewalk to be designed by the civil engineer (Opal) will be the length of the 1st Ave and 7th street property extremities as well as any alleyway improvements along the west property line.*

5. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building. *HPA Response; Confirmed. This project will sidewalks designed to meet city codes along 1st Ave and 7th street aspects of the project.*

6. The city may approve and accept voluntary cash contributions in lieu of the above-described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the city engineer. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy. *HPA Response; NA*

C. Drainage:

1. All storm water shall be retained on site. *HPA Response; Confirmed.*

2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street. *HPA Response; Confirmed.*

3. The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site. *HPA Response; Confirmed.*

4. Drainage facilities shall be constructed per city standards. *HPA Response; Confirmed. Civil Engineer will design drainage needed onsite to meet the city standards.*

D. Utilities:

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant. *HPA Response; Confirmed, developer will cover the costs of the utility upgrades.*

2. Utilities shall be located underground and above grade utility, power and communication equipment within the development site shall be concealed from public view. *HPA Response; Confirmed.*

3. When extension of utilities is necessary all developers will be required to pay for and install two (2”) inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer. *HPA Response; Confirmed. This will be handled by the electrical engineer at the time of permitting.*

E. Compatibility of Design:

1. The project's materials, colors and signing shall be complementary to the townscape, surrounding neighborhoods and adjoining structures. *HPA Response; We are currently planning*

2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community. *HPA Response; No significant landmarks exist on this property that we or the owners know about.*

3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to. *HPA Response; Confirmed. The existing buildings will be either donated to the BCHA or demolished.*

F. Architectural:

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined. *HPA Response; We are proposing three pedestrian entry points from 1st Avenue (1) and 7th Street (2). At the ground level the building is set 5' off the property line with recessed entry points at all 3 locations to denote access/egress to the building. Planter beds will flank all access points.*



View on the corner of 1st Ave and 7th Street.

2. The building character shall be clearly defined by use of architectural features.

3. There shall be continuity of materials, colors and signing within the project. *HPA Response; Our proposed material selection on the ground floor is a stone clad first floor so the building has an anchored presence at the pedestrian level. We are a mixture of vertical wood siding and panels on the levels above. Glass handrails around each of the balconies on the 2nd/3rd floors give a more transparent character and helps give the building corners a lighter character.*

4. Accessory structures, fences, walls, and landscape features within the project shall match or complement the principal building. *HPA Response; fencing and screening walls will be similar around the building. At this time in the design, we are proposing a 4 high perforated metal fence along the south property line to enclose the parking garage and denote property lines. This same screening material will be reflected on the roof top terrace to enclose the extents of each of the private decks/terraces at that level. The same treatment will occur around the rooftop mechanical zone in between he two elevator/stair towers at the roof level.*

5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness. *HPA Response; Confirmed. Currently the design on the ground floor level has undulation to highlight the main access points for pedestrian into the project. On the upper floors the plan undulates using eroded decks along the major street facades. There is minimal undulation along the South façade in response to the existing building that are on the neighbor's lot to the south. At ground level along the alleyway, we have proposed several carports*

6. Building(s) shall orient towards their primary street frontage. *HPA Response; Confirmed. The current design orients the main building towards each of the street frontage. Seeing the longest*

building dimension is along 7th street, this is where the two major building entrances are located with a secondary access point located along 1st Ave.

7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys. *HPA Response; The proposed design shows the trash room enclosed within the parking garage. The trash will be brought to the street at 7th twice weekly by the property management company. We will provide drawings of this to Mike Goitnidia (Clear Creek Disposal) for review and approval for the Formal Design Review Application/submittal.*

8. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties. *HPA Response; The current design proposes flat roof conditions to relate to the context of Ketchum and utilizing the roof scape for rooftop decks and mechanical areas. The flat roofs will have primary drains which drain internally and secondary overflow scuppers that will open onto the decks below so that unit owners know there is an issue with the primary's if such an instance occurs.*

G. Circulation Design:

1. Pedestrian, equestrian, and bicycle access shall be located to connect with existing and anticipated easements and pathways. *HPA Response; Confirmed. There is an existing paver sidewalk on the 1st Ave aspect of the project but will probably need upgrading if the developers decide to do a radiant / snowmelt system. This will be decided by the Final Design review submittal.*

2. Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.

3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian, and equestrian use. Consideration shall be given to adequate sight distances and proper signage. *HPA Response; Confirmed. We might add covered awnings over the sidewalks to give relief for pedestrians in the winter months. Yet to be decided.*

4. Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements. *HPA Response; Confirmed. All vehicle access to the site will be from the alleyway on the West side of the project.*

5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project. *HPA Response; Confirmed.*

H. Snow Storage:

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas. *HPA Response; Confirmed. See below #4 response.*

2. Snow storage areas shall be provided on-site. *HPA Response; Confirmed. See below #4 response.*

3. A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet. *HPA Response; Confirmed. See below #4 response.*

4. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed. *HPA Response; Confirmed. The applicant is considering snowmelt/radiant system for the hard surfaces at the ground level that are exposed. Final decision will be made before the final design review submittal.*

I. Landscaping:

1. Landscaping is required for all projects. *HPA Response; Confirmed. At this early stage of the project, we are proposing to have a series of landscape and planter beds along each of the streets (1st Ave and 7th Street). More detail to follow at the time of the final design review submittal in the form of the landscape plan completed by a licensed landscape architect.*

2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation, and aspect, and shall serve to enhance and complement the neighborhood and townscape. *HPA Response; Confirmed. At this early stage of the project, we are proposing to have a series of landscape and planter beds along each of the*

streets (1st Ave and 7th Street). More detail to follow at the time of the final design review submittal in the form of the landscape plan completed by a licensed landscape architect.

3. All plant species shall be drought tolerant. Native species are recommended but not required. *HPA Response; Confirmed. Plant species will be listed in the final design review submittal.*

4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets, and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged. *HPA Response; Confirmed. At this early stage of the project, we are proposing to have a series of landscape and planter beds along each of the streets (1st Ave and 7th Street). More detail to follow at the time of the final design review submittal in the form of the landscape plan completed by a licensed landscape architect.*

J. Public Amenities:

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission. *HPA Response; Confirmed. We are proposing a bench on 7th Street, at the center point of the two main entries to the project.*

17.96.070: COMMUNITY CORE (CC) PROJECTS

In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.

A. Streets:

1. Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department. *HPA Response; Confirmed.*

2. Street trees with a minimum caliper size of three inches (3"), shall be placed in tree grates. *HPA Response; NA No trees are proposed in the city ROW at this point of the design.*

3. Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.

B. Architectural:

1. Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade. *HPA Response; The current design proposes clerestory style windows along 7th street for rooms that are not in use all the time. ie parking garages, storage rooms, mechanical rooms, riser room. This allows northern light into these areas and gives the sense that these rooms are in fact habitable components of the building.*

2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways. *HPA Response; As above, B1.*

3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows. *HPA Response; Confirmed.*

4. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited. *HPA Response; Confirmed. At this time of the design, we are going to be utilizing a flat roof to use as roof top decks.*



View of Rooftop decks, space between will be where rooftop mechanical exists.

5. All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts. *HPA Response; Confirmed. If we change direction from the flat roof design element, all pitched roof will have snow retention bars, as well gutters and integrated downspouts.*

6. Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Director. *HPA Response; At this time in the design process, we are not proposing any overhangs that protrude in to the city ROW.*

7. Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials. *HPA Response; Confirmed. The three entry points are only recessed and have overhangs to denote entry points.*

C. Service Areas and Mechanical/Electrical Equipment:

1. Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views. *HPA Response; Confirmed. Currently we have enclosed trash room in the middle of the parking for easier access from both stair/elevator cores. We will send the plan to Mike Goitindia to get his blessing and approval letter to be submitted at the time of final design review.*

2. Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design. *HPA Response; Confirmed. We are proposing a 4'-0" perforated metal screening around the major mechanical areas at the ground and roof levels.*

D. Landscaping:

1. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site. *HPA Response; Confirmed. We are proposing on removing nine (9) mature growth evergreen trees in the city ROW as well as five (5) mature growth evergreens within the property onsite to make way for the new project. We will propose replace trees offsite where the city advises to do so and tree species.*

2. Trees that are placed within a courtyard, plaza or pedestrian walkway shall be placed within tree wells that are covered by tree grates. *HPA Response; NA*

3. The city arborist shall approve all parking lot and replacement trees. *HPA Response; Confirmed. We will wait on that report from the city arborist for final replacement numbers, species types and location.*



Conceptual landscape at street level to soften the building presence onsite

E. Surface Parking Lots:

1. Surface parking lots shall be accessed from off the alley and shall be fully screened from the street. *HPA Response; Confirmed. Parking will be accessed from the alleyway on the west side of the property.*
2. Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public. *HPA Response; NA*
3. Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways. *HPA Response; Confirmed. At this early stage of the project, we are proposing to have a series of landscape and planter beds along each of the streets (1st Ave and 7th Street). More detail to follow at the time of the final design review submittal in the form of the landscape plan completed by a licensed landscape architect.*



Looking towards the NW corner of the project from 7th street.

F. Bicycle Parking:

1. One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development on private property. Bike racks shall not be located in the public right-of-way. *HPA Response: Confirmed. We are proposing a two (2) bike racks, one at each of the main entrances along 7th street. In our earlier design conversations, the city said they would be open to having bike racks in the city ROW – please confirm??*
2. When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number. *HPA Response: As above.*
3. Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. *HPA Response: Confirmed. We are proposing a bike rack at each of the main entrances along 7th street as mentioned above F1.*

We hope this answers any questions you have about the concept design and how we have used the city design guidelines and current projects that have been approved in the city core to influence the proposed project. Please let us know if you have additional questions and we can answer them during the design review meeting.

Thank you.

Sincerely,



Daniel Hollis, Principal

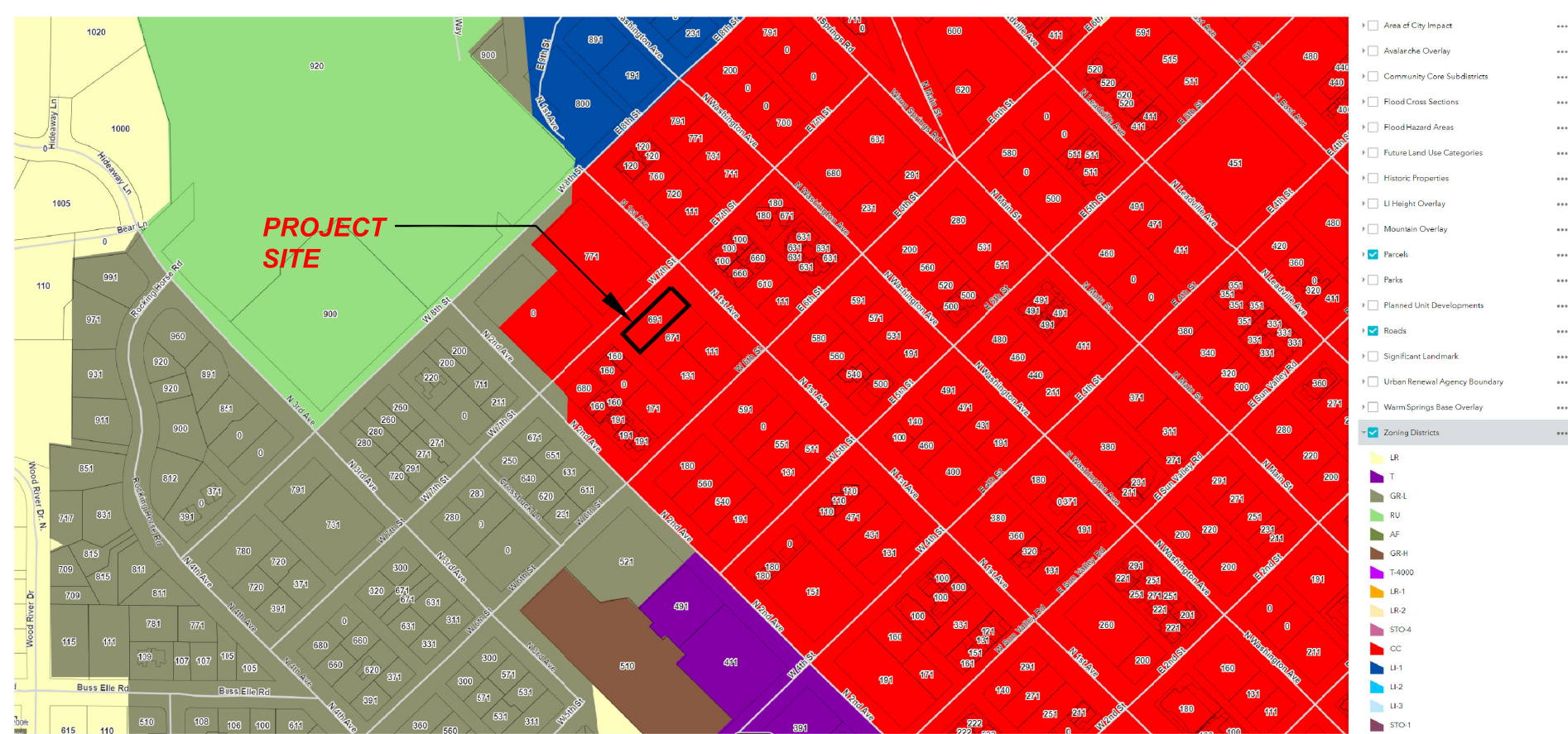
SITE VICINITY

KETCHUM LOT 1 BLK 54, 691 N 1st AVE, KETCHUM, ID



SITE VICINITY ZONING

KETCHUM LOT 1 BLK 54, 691 N 1st AVE, KETCHUM, ID



PROJECT DIRECTORY

CLIENT & OWNER-BUILDER
JIM HELFRICH/GARY McCARTHY
691 N 1st AVE
KETCHUM, ID 83340

ARCHITECT
HOLLIS PARTNERS ARCHITECTS, AIA
PO BOX 1769 (POST)
SUN VALLEY, ID 83353

CONTRACTOR
PEAK VG, LLC
120 N LEADVILLE AVE.
KETCHUM, ID

LAND SURVEYOR
PHILLIPS LAND SURVEYING, PLLC
941 CHERRY DR.
HAILEY, ID 83333

STRUCTURAL / MEP ENGINEERS
DC ENGINEERING
1411 N. COLLEGE RD, STE 100
TWIN FALLS, ID 83301

GEOTECHNICAL ENGINEER
BUTLER ASSOCIATES, INC
BOX 1034,
KETCHUM, ID 83340

CIVIL ENGINEER
OPAL ENGINEERING, PLLC
P.O. Box 2530,
HAILEY, ID 83333

CODE COMPLIANCE
DIA SULLIVAN, ARCHITECT PLLC
P.O. BOX 233
WHITEFISH, MT 59937

COM-CHECK
JOHN REUTER, GREENWORKS
P.O. BOX 4714
KETCHUM, ID 83340

LANDSCAPE ARCHITECT
NS CONSULTING, PLLC
380 E. HIGHWAY 26
SHOSHONE, ID 83352

PROJECT DATA

LEGAL OWNER JIM HELFRICH/GARY McCARTHY
OWNER'S ADDRESS 12 COFFIN STREET
NANTUCKET, MA 02554

SITE INFORMATION

LEGAL DESCRIPTION: KETCHUM LOT 1, BLK 54
CODE: 2018
ZONING: CC2: COMMUNITY CORE (2)
CURRENT USE: RESIDENTIAL HOUSE
PROPOSED USE: RESIDENTIAL : GROUP R-2
LOT SIZE: 8,241 SF (0.19 ACRES)

SETBACKS REQUIRED:
FRONT (EAST): AVERAGE 5'-0" (5' PROPOSED)
NORTH SIDE (E 7th ST): AVERAGE 5'-0" (5' PROPOSED)

HT LIMITATION: 42' (PROPOSED 36'-0" PLUS ROOF TERRACE)
CONST. TYPE V-B (SPRINKLERED)
CODE COMPLIANCE: IBC 2018
IRC 2018
IECC 2018
CMEC 2018
IPMC 2018
IFC 2018

PROVIDE REQUIRED UNDER FLOOR VENTING/ RADON MITIGATION AS REQUIRED.

PROVIDE REQUIRED UNDER FLOOR VENTING MOLD MITIGATION AS REQUIRED.

PROVIDE UNDER FLOOR (CRAWL SPACE) VENTILATION OF 1 CFM PER 150 SF OF FLOOR AREA

FLOOR LIVE LOAD: 100 PSF, 40 PSF RESIDENTIAL
ROOF LIVE LOAD: 100 PSF (SNOW LOAD)
SEISMIC ZONE: D
WIND LOADS: 115 MPH 3 SECOND GUST (ULT)
CATEGORY II
IMPORTANCE FACTOR = I

AREA CALCULATIONS

Table with 2 columns: Description and Area. Includes SITE AREA (8,241 SF), PROPOSED 1st FLR AREA (3,837 SF), PROPOSED 2nd FLR AREA (6,135 SF), PROPOSED 3rd FLR AREA (6,026 SF), PROPOSED DECK / PATIO AREA (1,510 SF), NET RESIDENTIAL AREA (12,447 SF), and TOTAL GROSS BUILDING AREA (15,998 SF).

DRAWING INDEX

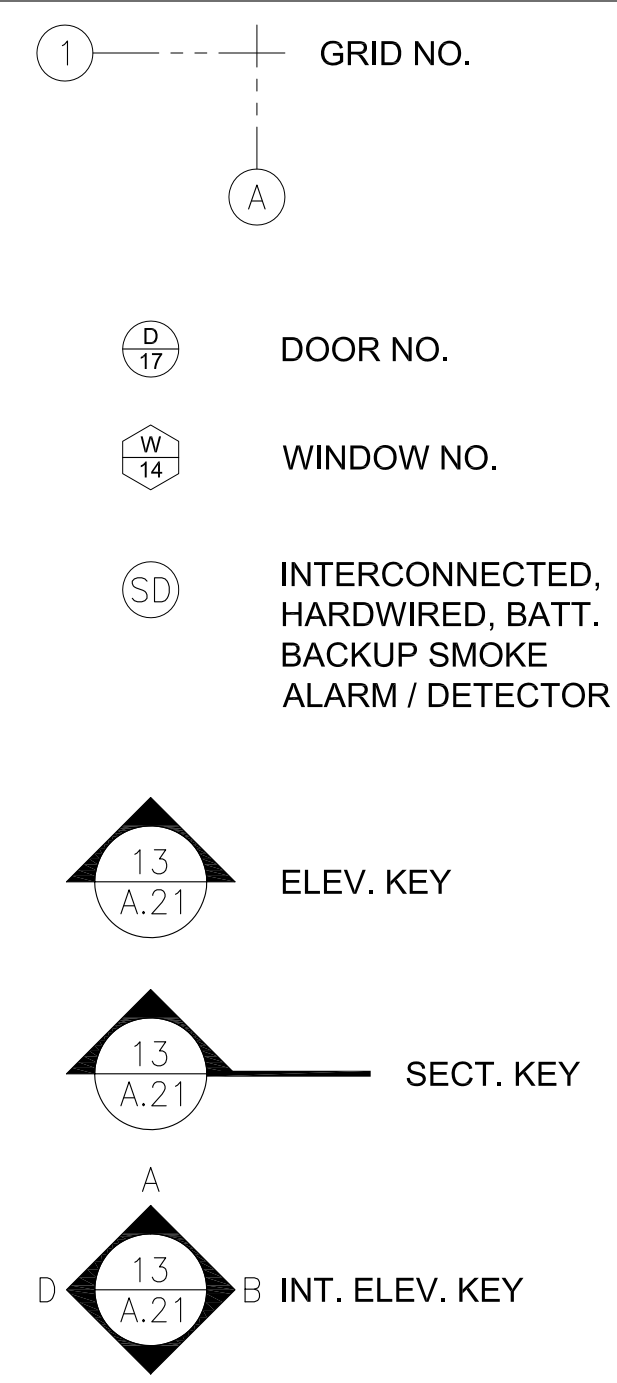
Table listing drawing categories and sheet numbers. Includes GENERAL (A0.0-A0.7), SURVEY PLAN (C), LANDSCAPE (L1-L3), ARCHITECTURAL (A1.1-A1.2), and floor plans (A2.1-A2.7, A3.1-A3.2).

GENERAL NOTES

- 1. THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS & EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT LEAVING ALL WORK READY FOR USE.
2. THESE DRAWINGS, TOGETHER WITH THE SPECIFICATION, AIA GENERAL CONDITIONS DOCUMENT A-201, 1988 EDITION, REPRESENT THE CONTRACT DOCUMENTS.
3. THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE...

- 13. THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING SITE CONDITIONS TO REMAIN, INCLUDING TREES & SHRUBS, PAVING, FENCES, WALLS, ETC.
14. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
15. VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL DRAWINGS PRIOR TO THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.

SYMBOLS LEGEND table with columns for symbols and their corresponding descriptions. Includes items like ANCHOR BOLT, DETAIL, GAUGE, NORTH, STEEL, etc.

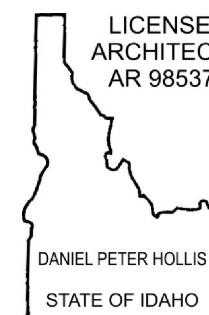


- WALL TYPE
FIN. CLNG MAT.
FIN. FLR MAT.
CEILING MOUNTED EXHAUST FAN
ROOM NO. / ENLARGED PLAN & INT. ELEVATION SHEET NO.
ELEVATION MARKER



PO BOX 1769 [post]
SUN VALLEY, ID 83353
220 River St. E [courier]
KETCHUM, ID 83343

V.208.721.7160 / V.208.721.0633



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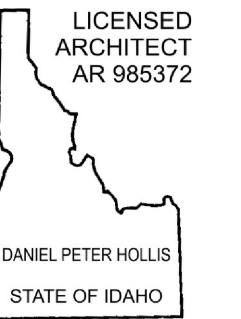
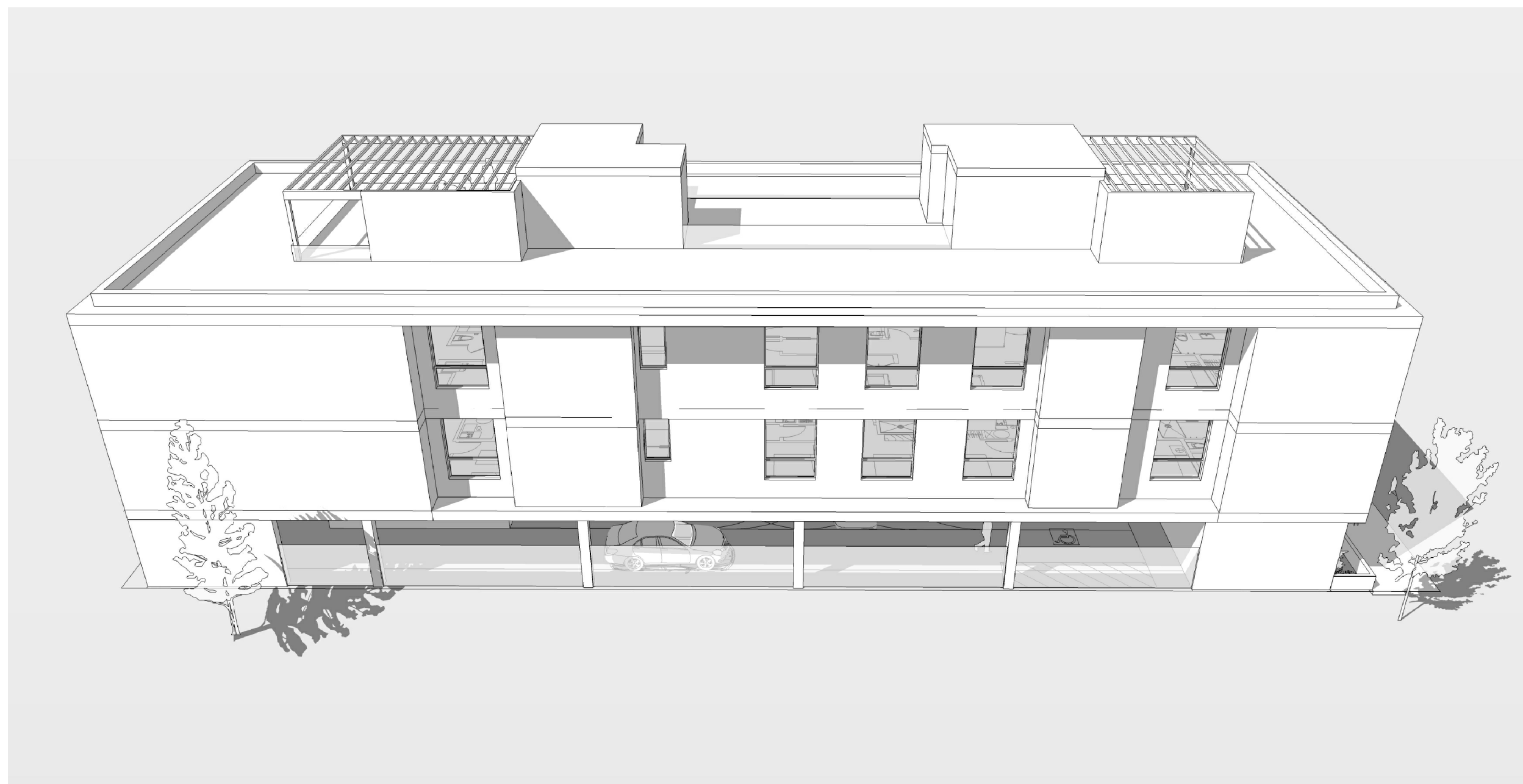
NOT FOR CONSTRUCTION

REVISION DATE table with columns for date and description.

THE RESIDENCES
@ 691 1st
691 N 1st AVE
KETCHUM, IDAHO

PROJECT DATA
GENERAL NOTES

A 0.0
CATEGORY SEQUENCE



D. Hollis

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REVISION DATE	ISSUE/DATE	PRE-APP DR	7/30/24
	DRAWN BY	DPH / JJR	
	CHECKED BY	DPH / JJR	
	DATE	03/12/24	
	JOB NO.	1098	

THE RESIDENCES
@ 691 1st

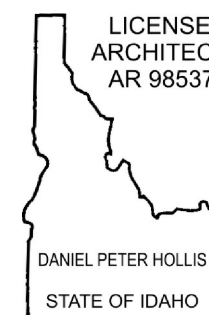
691 N 1st AVE
 KETCHUM, IDAHO

BUILDING
MASSING MODEL

A **0.1**
 CATEGORY SEQUENCE



1 BUILDING MASSING MODEL
A0.2



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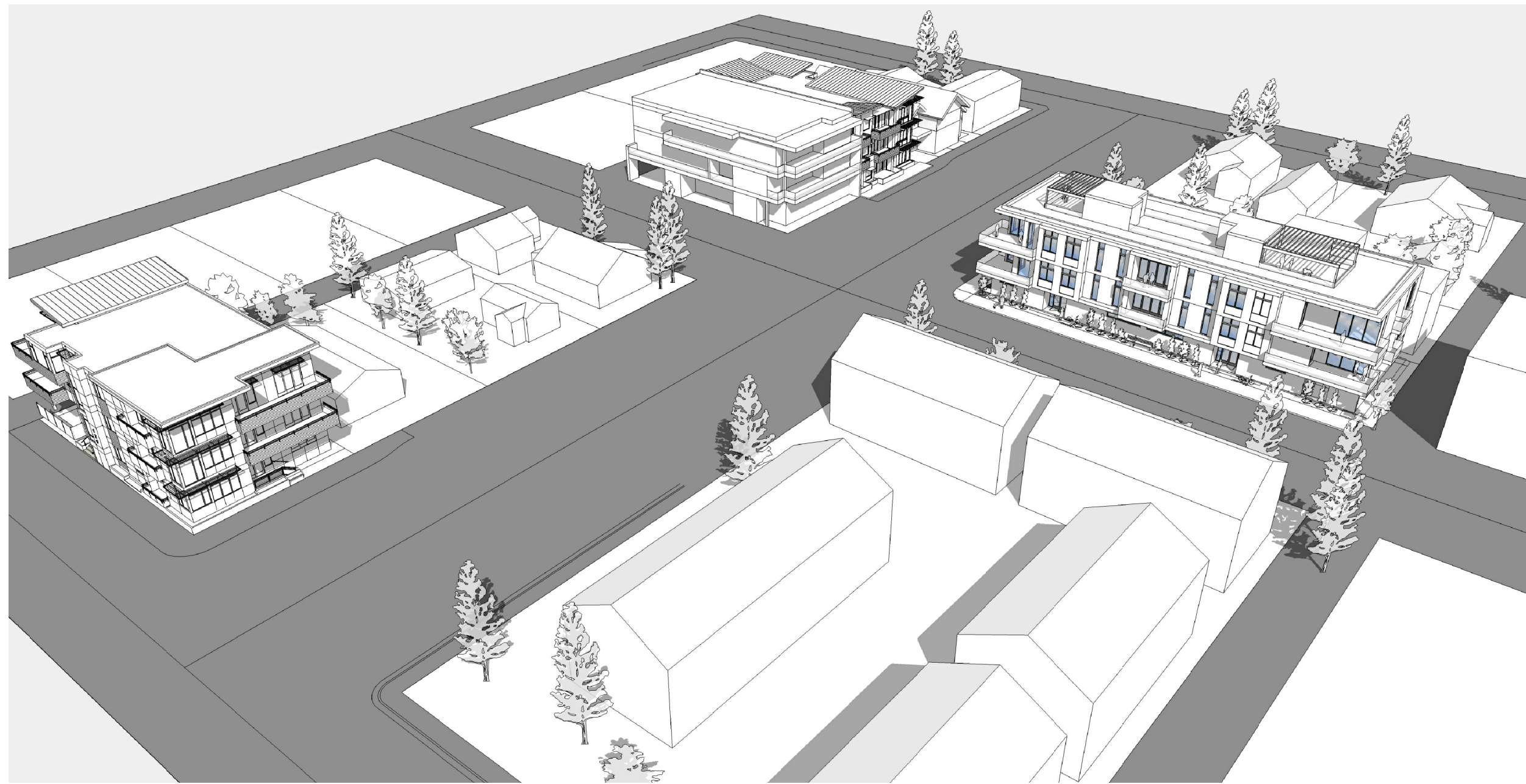
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ISSUE/DATE	PRE-APP DR	7/30/24
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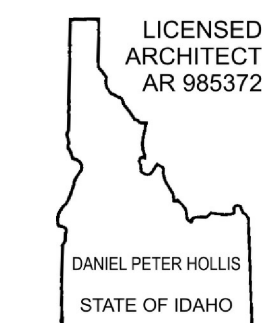
**THE RESIDENCES
@ 691 1st**

691 N 1st AVE
KETCHUM, IDAHO

**BUILDING
MASSING MODEL**



1 BUILDING MASSING MODEL
A0.3



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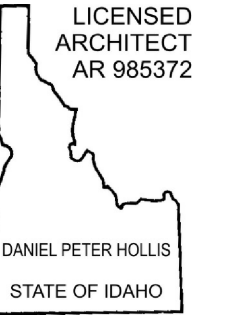
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**THE RESIDENCES
@ 691 1st**

691 N 1st AVE
KETCHUM, IDAHO

**BUILDING
MASSING MODEL**



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BIRDS EYE VIEW OF SITE LOOKING SOUTH WEST



PLAN VIEW FROM ABOVE THE SITE



PLAN VIEW WITH CONTEXT OF EXISTING SITE CONDITIONS



VIEW OF SITE FROM 1st AVENUE



LOOKING AT NORTH WEST CORNER OF SITE FROM 7th STREET



LOOKING TOWARDS SOUTH WEST FROM 7th STREET

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THE RESIDENCES
 @ 691 1st

691 N 1st AVE
 KETCHUM, IDAHO

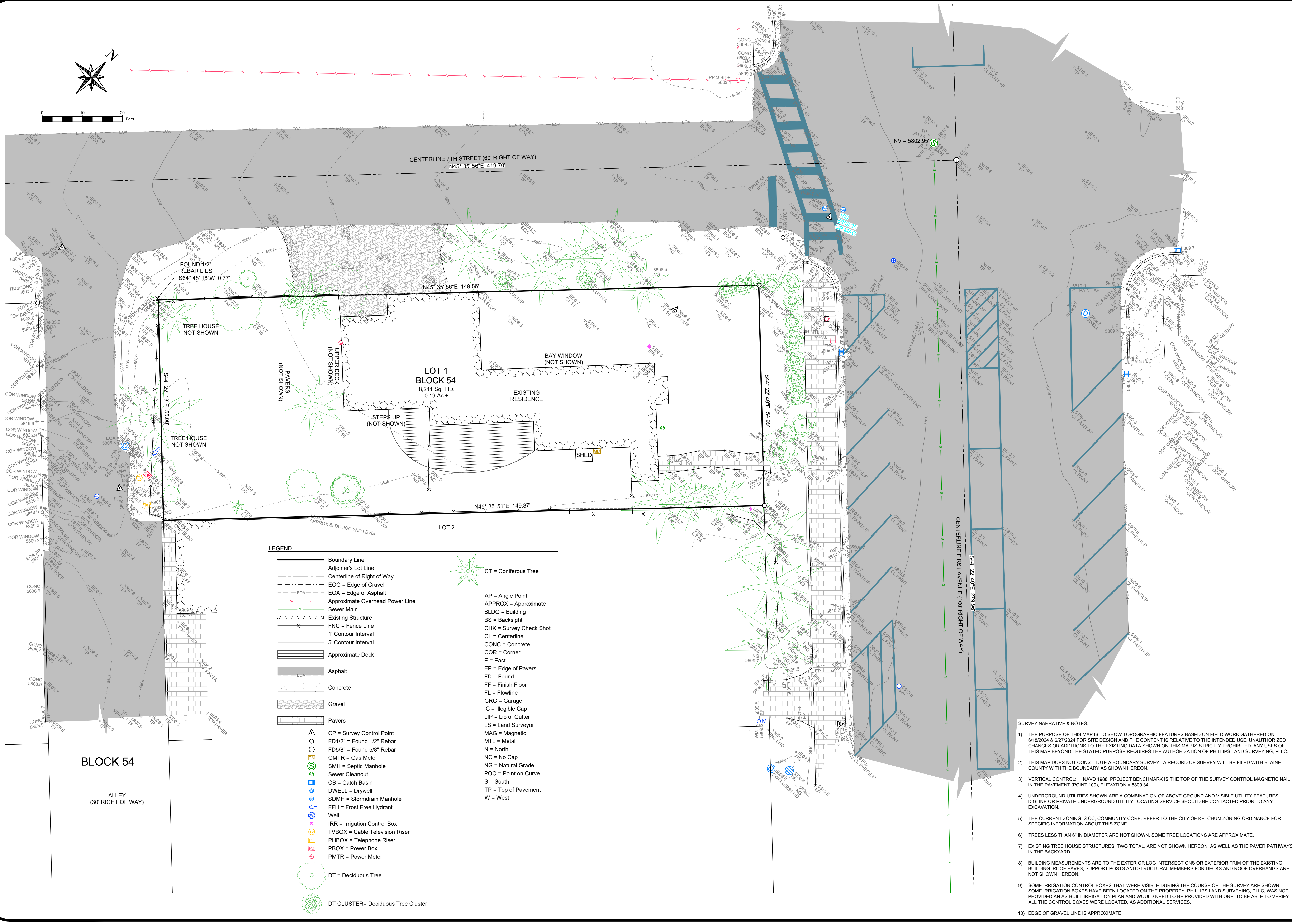
EXISTING
 SITE PICTURES

A **0.7**
CATEGORY SEQUENCE

NO	DATE	BY	REVISIONS

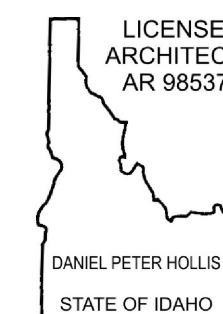
PHILLIPS LAND SURVEYING, PLLC
 HAILEY, IDAHO
 Phone: (208) 720 - 3760
 Email: pls16670.id@gmail.com

A TOPOGRAPHIC MAP SHOWING
LOT 1, BLOCK 54,
KETCHUM TOWNSITE
 LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M.,
 CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR HOLLIS PARTNERS ARCHITECTS



- LEGEND**
- Boundary Line
 - Adjoiner's Lot Line
 - Centerline of Right of Way
 - EOG = Edge of Gravel
 - EOA = Edge of Asphalt
 - Approximate Overhead Power Line
 - Sewer Main
 - Existing Structure
 - FNC = Fence Line
 - 1' Contour Interval
 - 5' Contour Interval
 - Approximate Deck
 - Asphalt
 - Concrete
 - Gravel
 - Pavers
 - CP = Survey Control Point
 - FD1/2" = Found 1/2" Rebar
 - FD5/8" = Found 5/8" Rebar
 - GMTR = Gas Meter
 - SMH = Septic Manhole
 - Sewer Cleanout
 - CB = Catch Basin
 - DWELL = Drywell
 - SDMH = Stormdrain Manhole
 - FFH = Frost Free Hydrant
 - Well
 - IRR = Irrigation Control Box
 - TVBOX = Cable Television Riser
 - PHBOX = Telephone Riser
 - PBOX = Power Box
 - PMTR = Power Meter
 - DT = Deciduous Tree
 - DT CLUSTER= Deciduous Tree Cluster
 - CT = Coniferous Tree
 - AP = Angle Point
 - APPROX = Approximate
 - BLDG = Building
 - BS = Backsight
 - CHK = Survey Check Shot
 - CL = Centerline
 - CONC = Concrete
 - COR = Corner
 - E = East
 - EP = Edge of Pavers
 - FD = Found
 - FF = Finish Floor
 - FL = Flowline
 - GRG = Garage
 - IC = Illegible Cap
 - LIP = Lip of Gutter
 - LS = Land Surveyor
 - MAG = Magnetic
 - MTL = Metal
 - N = North
 - NC = No Cap
 - NG = Natural Grade
 - POC = Point on Curve
 - S = South
 - TP = Top of Pavement
 - W = West

- SURVEY NARRATIVE & NOTES:**
- THE PURPOSE OF THIS MAP IS TO SHOW TOPOGRAPHIC FEATURES BASED ON FIELD WORK GATHERED ON 6/18/2024 & 6/27/2024 FOR SITE DESIGN AND THE CONTENT IS RELATIVE TO THE INTENDED USE. UNAUTHORIZED CHANGES OR ADDITIONS TO THE EXISTING DATA SHOWN ON THIS MAP IS STRICTLY PROHIBITED. ANY USES OF THIS MAP BEYOND THE STATED PURPOSE REQUIRES THE AUTHORIZATION OF PHILLIPS LAND SURVEYING, PLLC.
 - THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. A RECORD OF SURVEY WILL BE FILED WITH BLAINE COUNTY WITH THE BOUNDARY AS SHOWN HEREON.
 - VERTICAL CONTROL: NAVD 1988. PROJECT BENCHMARK IS THE TOP OF THE SURVEY CONTROL MAGNETIC NAIL IN THE PAVEMENT (POINT 100), ELEVATION = 5809.34'
 - UNDERGROUND UTILITIES SHOWN ARE A COMBINATION OF ABOVE GROUND AND VISIBLE UTILITY FEATURES. DIGLINE OR PRIVATE UNDERGROUND UTILITY LOCATING SERVICE SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION.
 - THE CURRENT ZONING IS CC, COMMUNITY CORE. REFER TO THE CITY OF KETCHUM ZONING ORDINANCE FOR SPECIFIC INFORMATION ABOUT THIS ZONE.
 - TREES LESS THAN 6" IN DIAMETER ARE NOT SHOWN. SOME TREE LOCATIONS ARE APPROXIMATE.
 - EXISTING TREE HOUSE STRUCTURES, TWO TOTAL, ARE NOT SHOWN HEREON, AS WELL AS THE PAVER PATHWAYS IN THE BACKYARD.
 - BUILDING MEASUREMENTS ARE TO THE EXTERIOR LOG INTERSECTIONS OR EXTERIOR TRIM OF THE EXISTING BUILDING. ROOF EAVES, SUPPORT POSTS AND STRUCTURAL MEMBERS FOR DECKS AND ROOF OVERHANGS ARE NOT SHOWN HEREON.
 - SOME IRRIGATION CONTROL BOXES THAT WERE VISIBLE DURING THE COURSE OF THE SURVEY ARE SHOWN. SOME IRRIGATION BOXES HAVE BEEN LOCATED ON THE PROPERTY. PHILLIPS LAND SURVEYING, PLLC, WAS NOT PROVIDED AN AS-BUILT IRRIGATION PLAN AND WOULD NEED TO BE PROVIDED WITH ONE, TO BE ABLE TO VERIFY ALL THE CONTROL BOXES WERE LOCATED, AS ADDITIONAL SERVICES.
 - EDGE OF GRAVEL LINE IS APPROXIMATE.



Daniel Hollis
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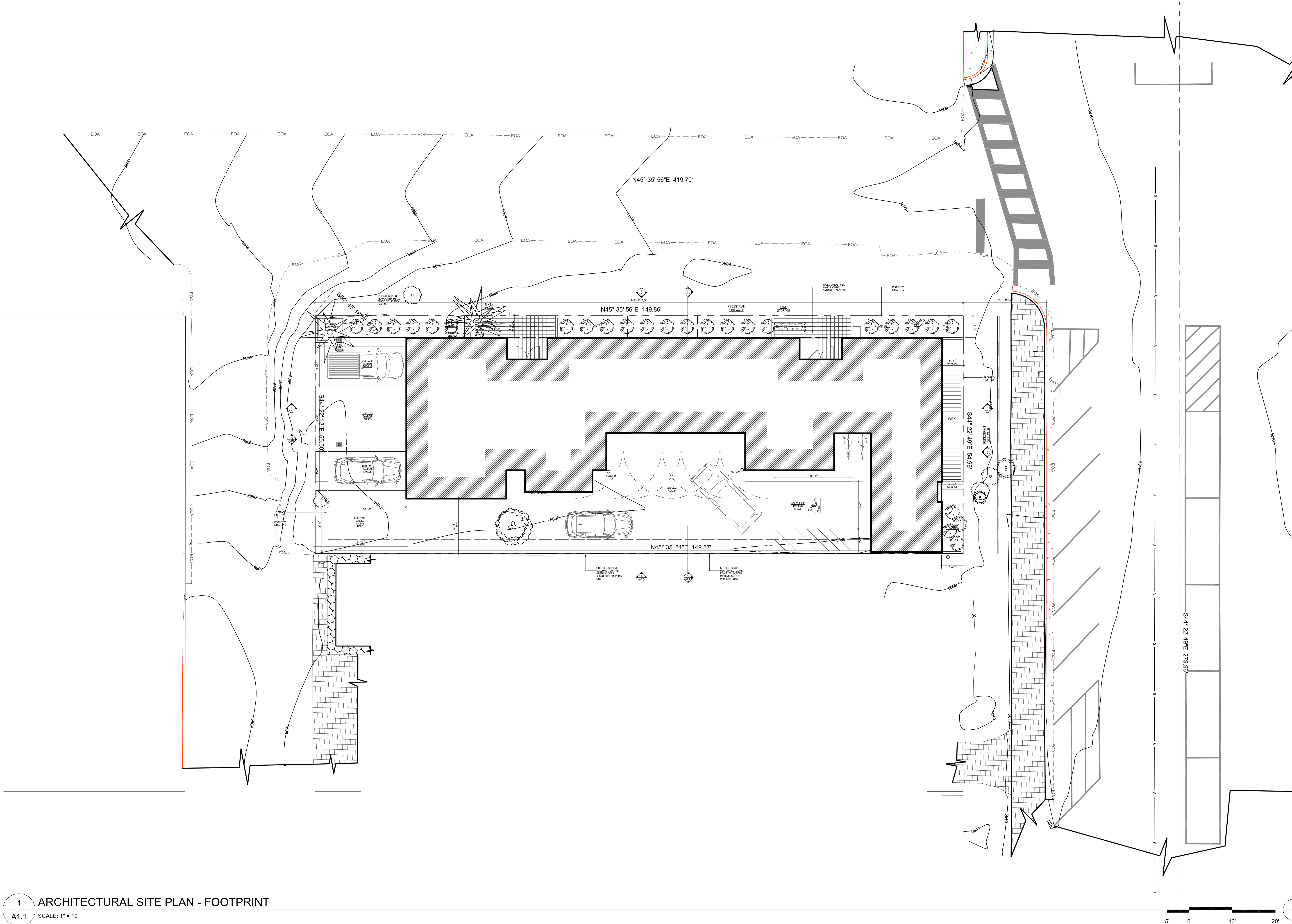
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	DRAWN BY	DPH / JJR	
	CHECKED BY	DPH / JJR	
	DATE	03/12/24	
	JOB NO.	1098	

THE RESIDENCES
@ 691 1st

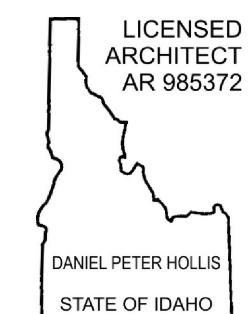
691 N 1st AVE
 KETCHUM, IDAHO

ARCHITECTURAL
SITE PLAN

A **1.1**
CATEGORY SEQUENCE



1 ARCHITECTURAL SITE PLAN - FOOTPRINT
A1.1 SCALE: 1" = 10'



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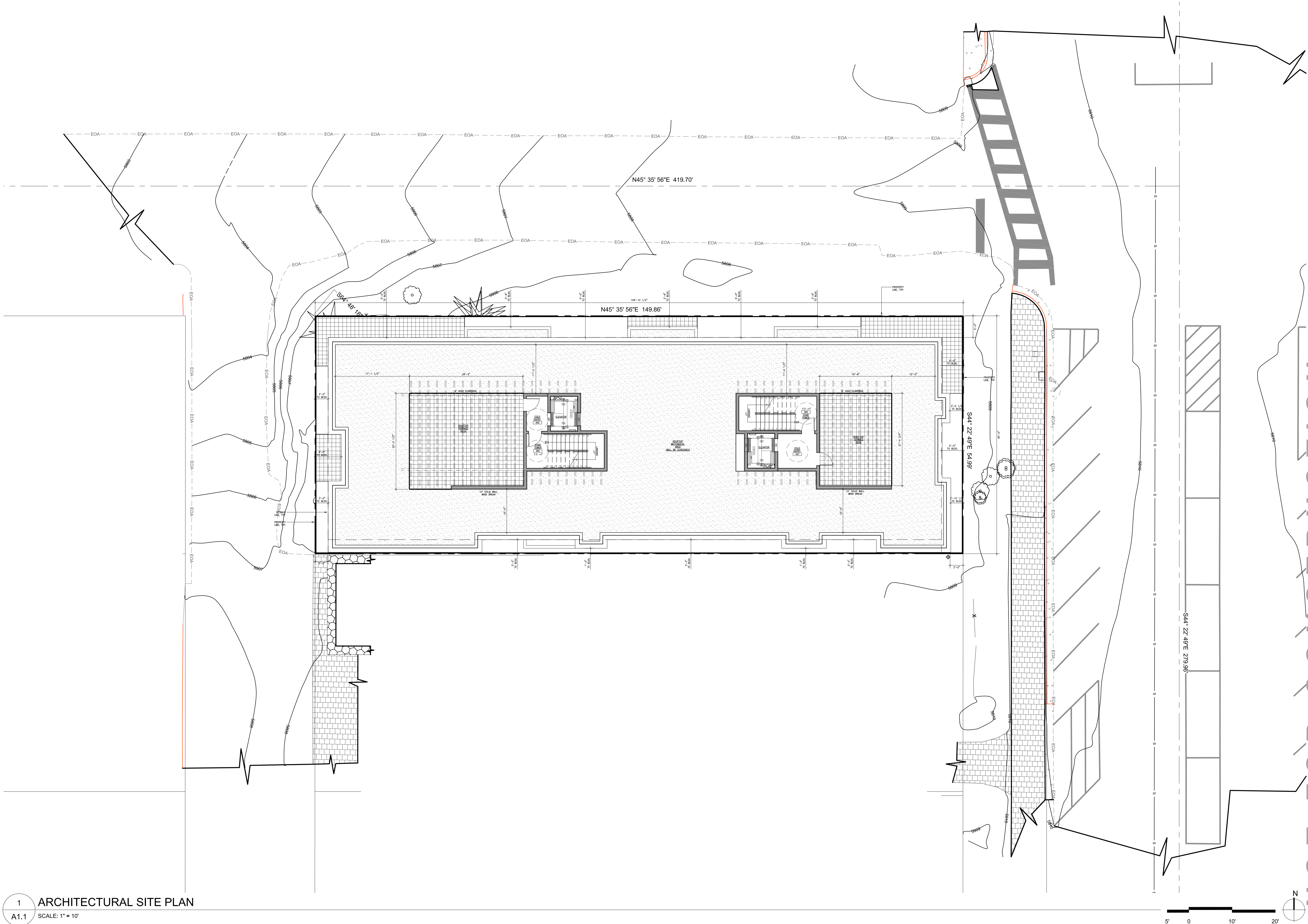
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	DATE	03/12/24	
	JOB NO.	1098	

THE RESIDENCES
@ 691 1st

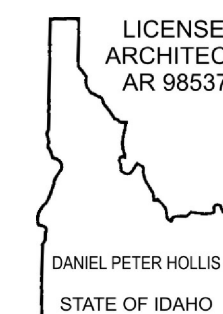
691 N 1st AVE
 KETCHUM, IDAHO

ARCHITECTURAL
SITE PLAN

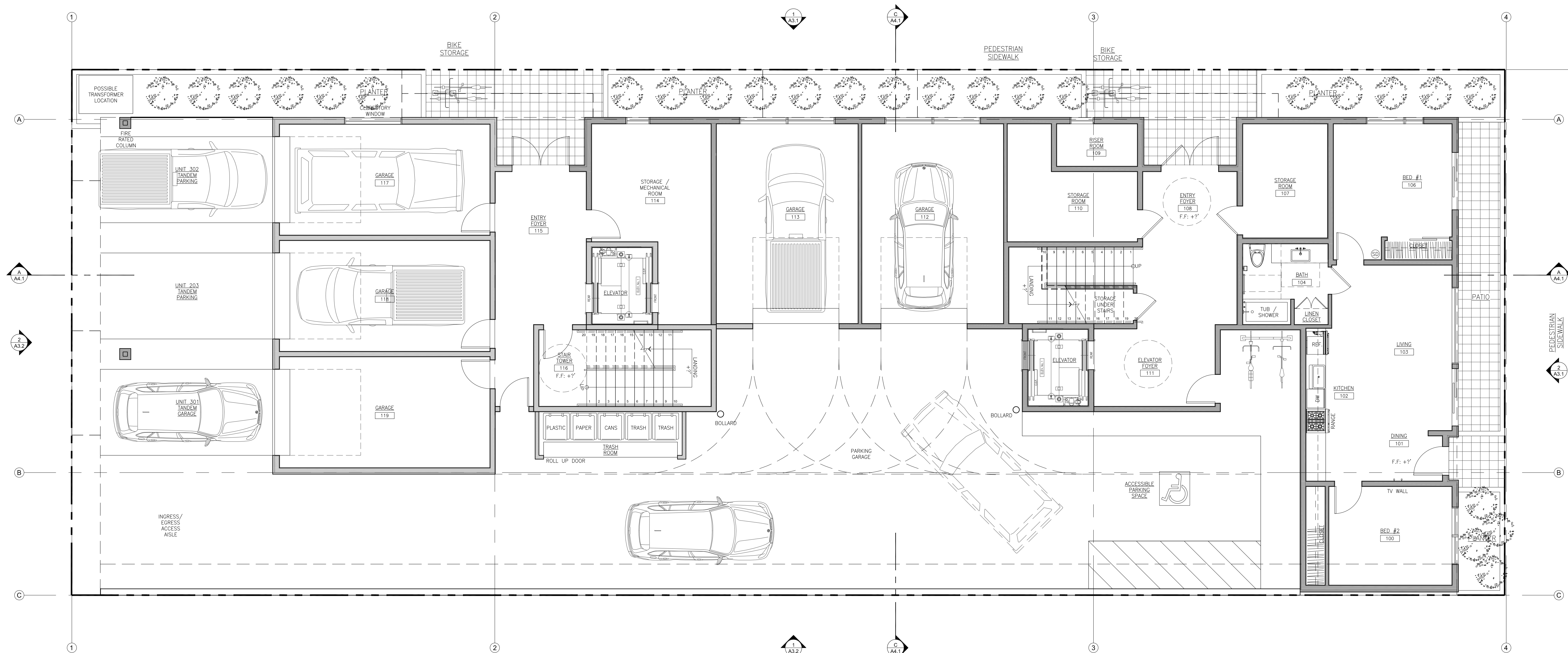
A **1.2**
 CATEGORY SEQUENCE



1 ARCHITECTURAL SITE PLAN
 A1.1 SCALE: 1" = 10'



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REVISION DATE

ISSUE/DATE	PRE-APP DR	7/30/24
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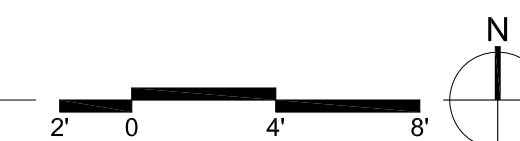
THE RESIDENCES
 @ 691 1st

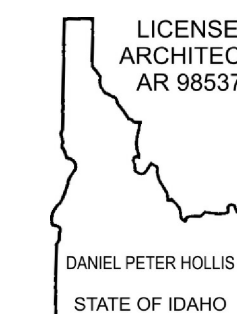
691 N 1st AVE
 KETCHUM, IDAHO

ARCHITECTURAL FLOOR PLAN

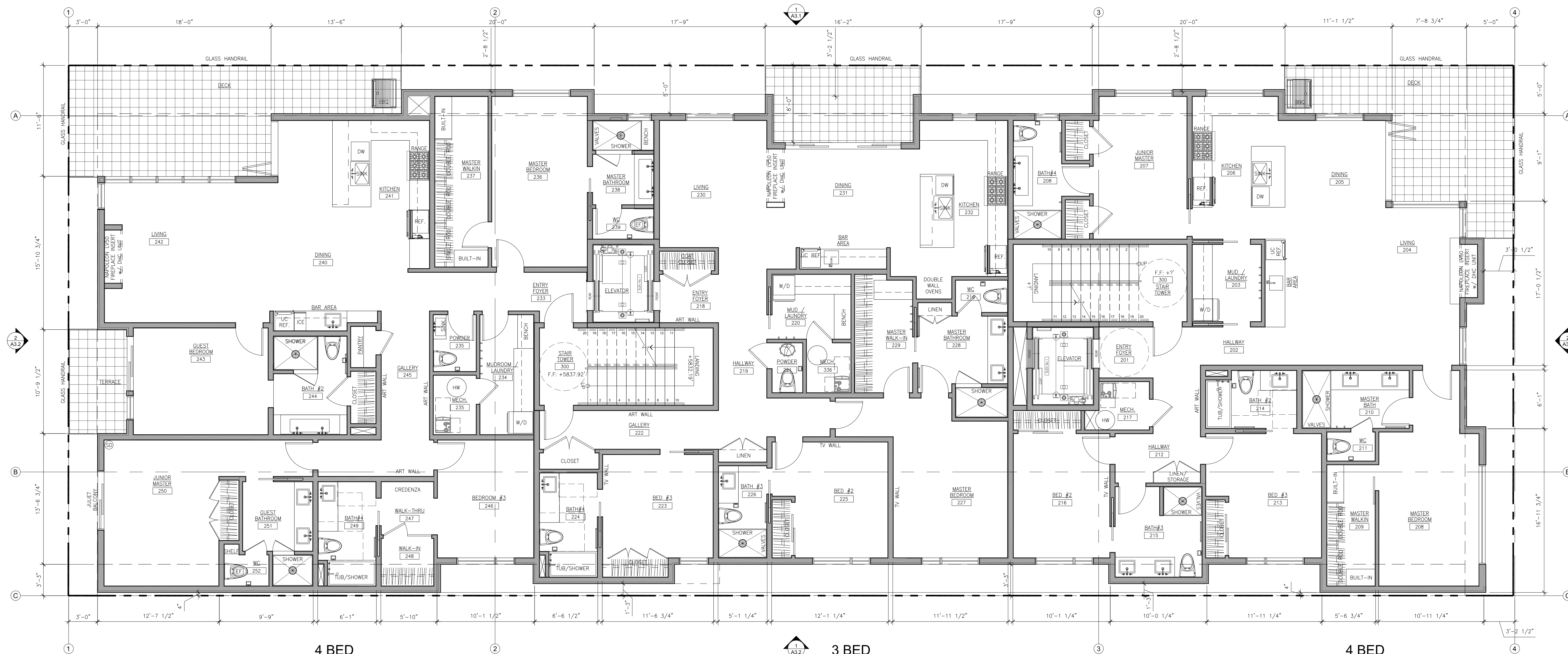
A 2.1
 CATEGORY SEQUENCE

1 ARCHITECTURAL FIRST FLOOR PLAN
 A2.1 SCALE: 3/16" = 1'-0"





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4 BED RES UNIT
 (2,125 +sf)
 2 car space

3 BED RES UNIT
 (1,770 +sf)
 1 car space

4 BED RES UNIT
 (1,933 +sf)
 1 car space

NOT FOR CONSTRUCTION

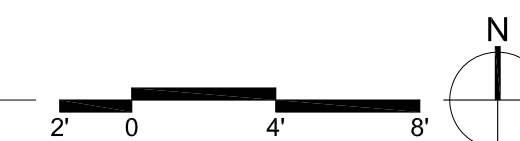
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	JOB NO.	1098	

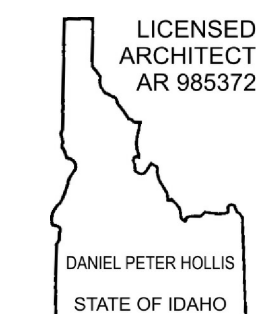
THE RESIDENCES
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 KETCHUM, IDAHO

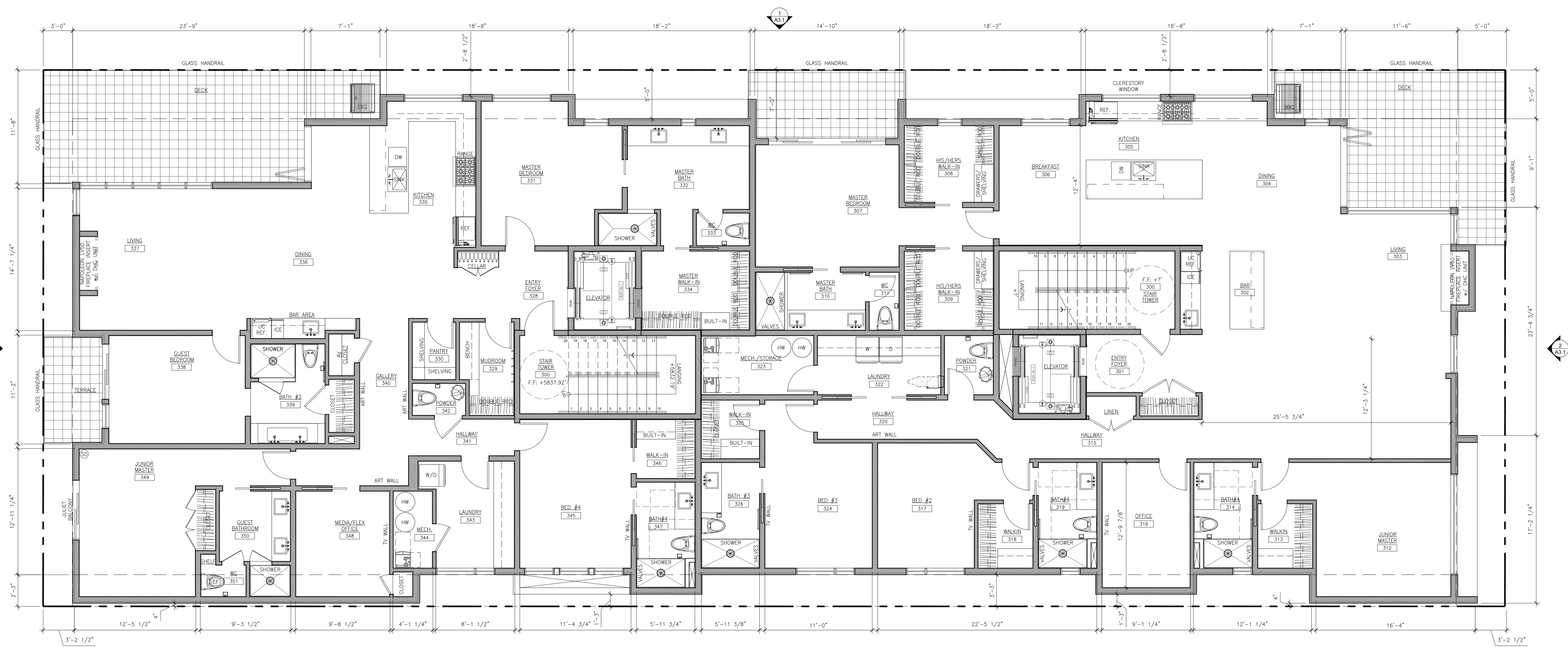
ARCHITECTURAL FLOOR PLAN

1 ARCHITECTURAL SECOND FLOOR PLAN
 A2.2 SCALE: 3/16" = 1'-0"





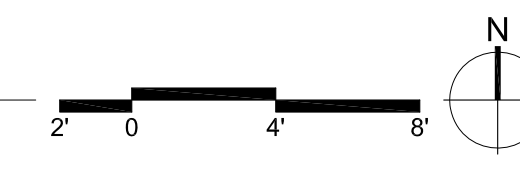
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4 BED+
 RES UNIT
 (2,727 +sf)
 2 car spaces

4 BED
 RES UNIT
 (3,143 +sf)
 2 car spaces

1 ARCHITECTURAL THIRD FLOOR PLAN
 A2.3 SCALE: 3/16" = 1'-0"



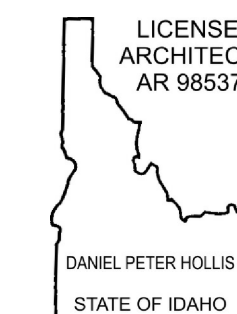
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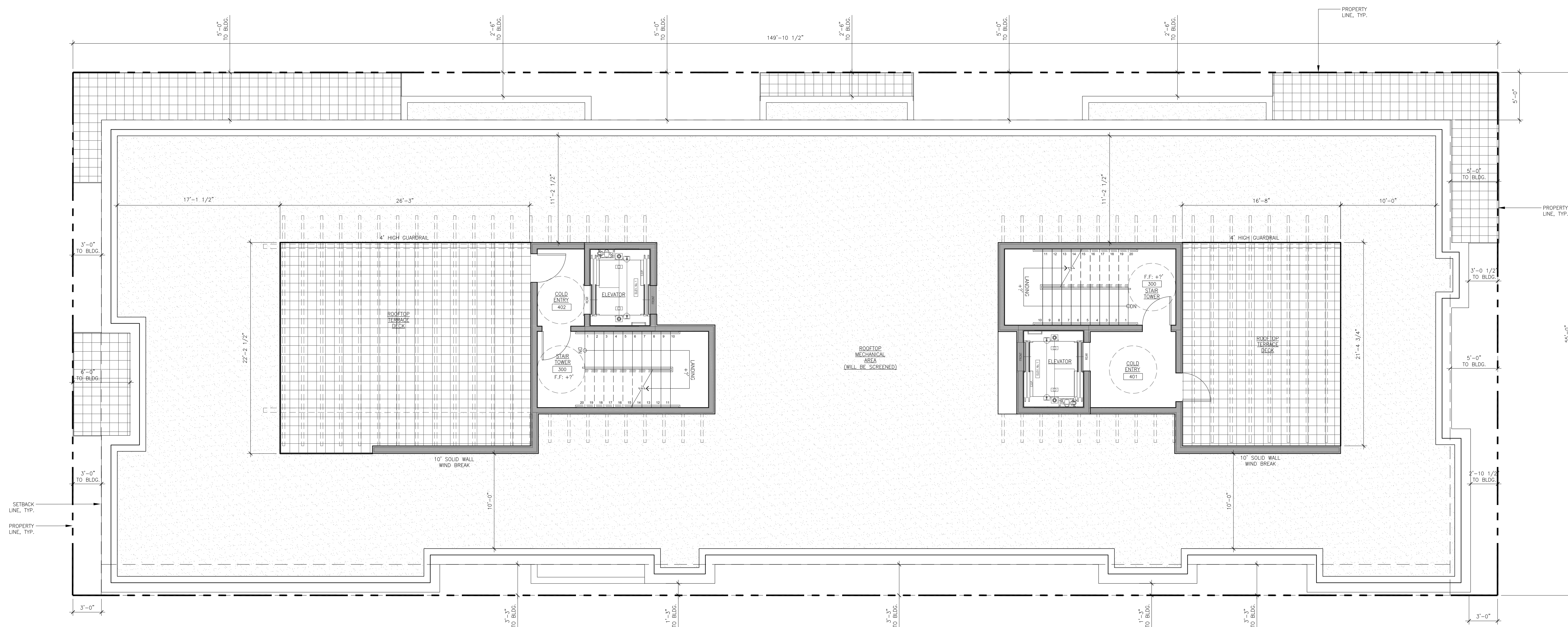
THE RESIDENCES
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ARCHITECTURAL
 FLOOR PLAN



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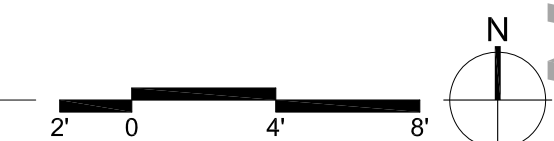
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JOB NO.		1098

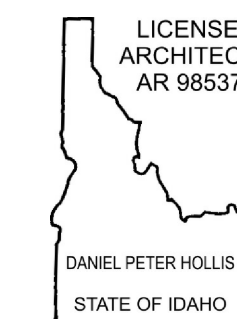
THE RESIDENCES
 @ 691 1st

691 N 1st AVE
 KETCHUM, IDAHO

ARCHITECTURAL
 ROOF PLAN

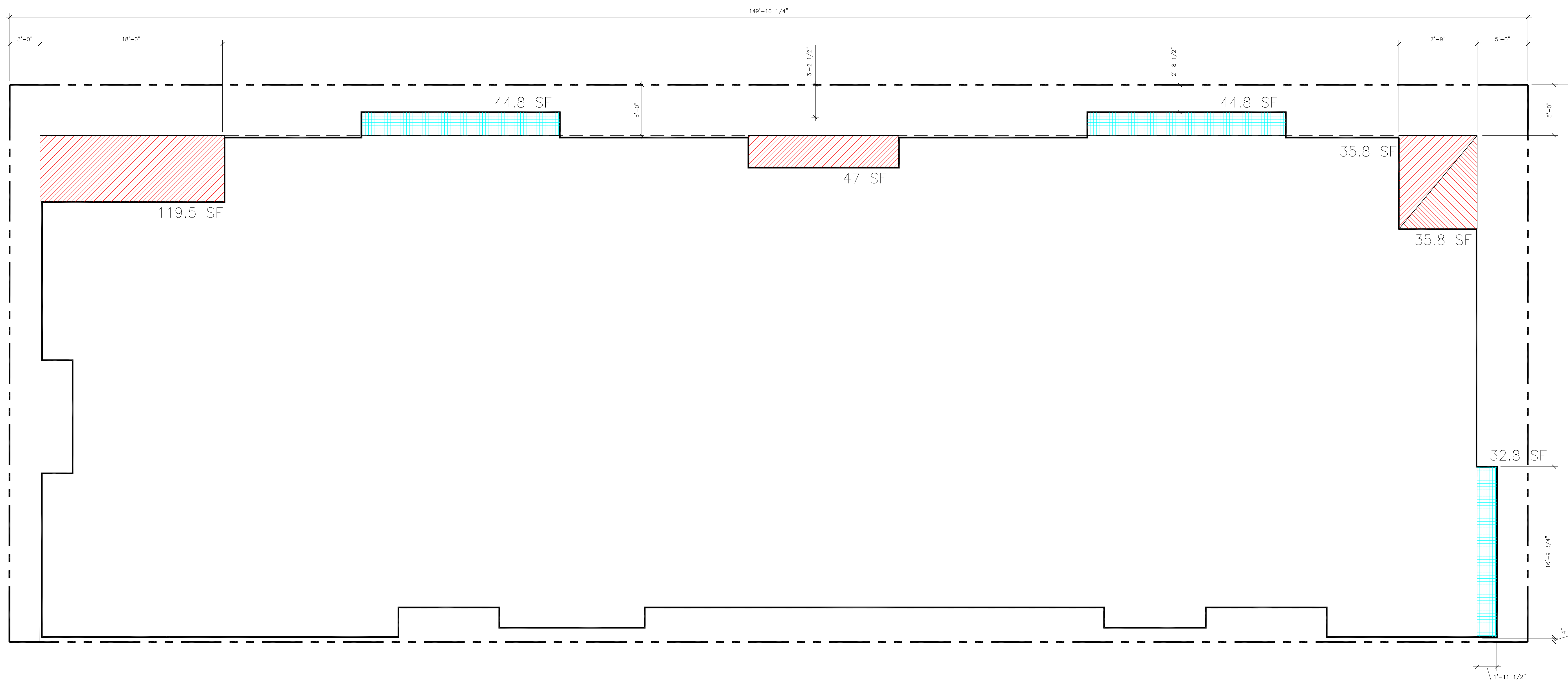


1 ARCHITECTURAL ROOF PLAN
 A2.4 SCALE: 3/16" = 1'-0"



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7th Street



2nd FLOOR PLAN

CALCULATIONS:

1st AVE INTERIOR AREA = 35.8SF
 1st AVE EXTERIOR AREA = 32.8 SF

7th STREET INTERIOR AREA = 202.3 SF
 7th STREET EXTERIOR AREA = 89.6 SF

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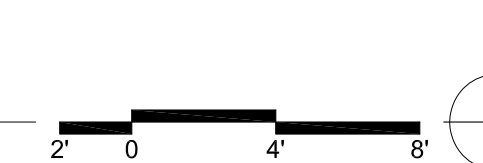
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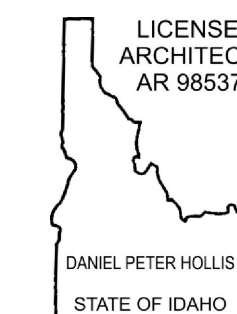
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DATE	03/12/24	
JOB NO.	1098	

THE RESIDENCES
 @ 691 1st

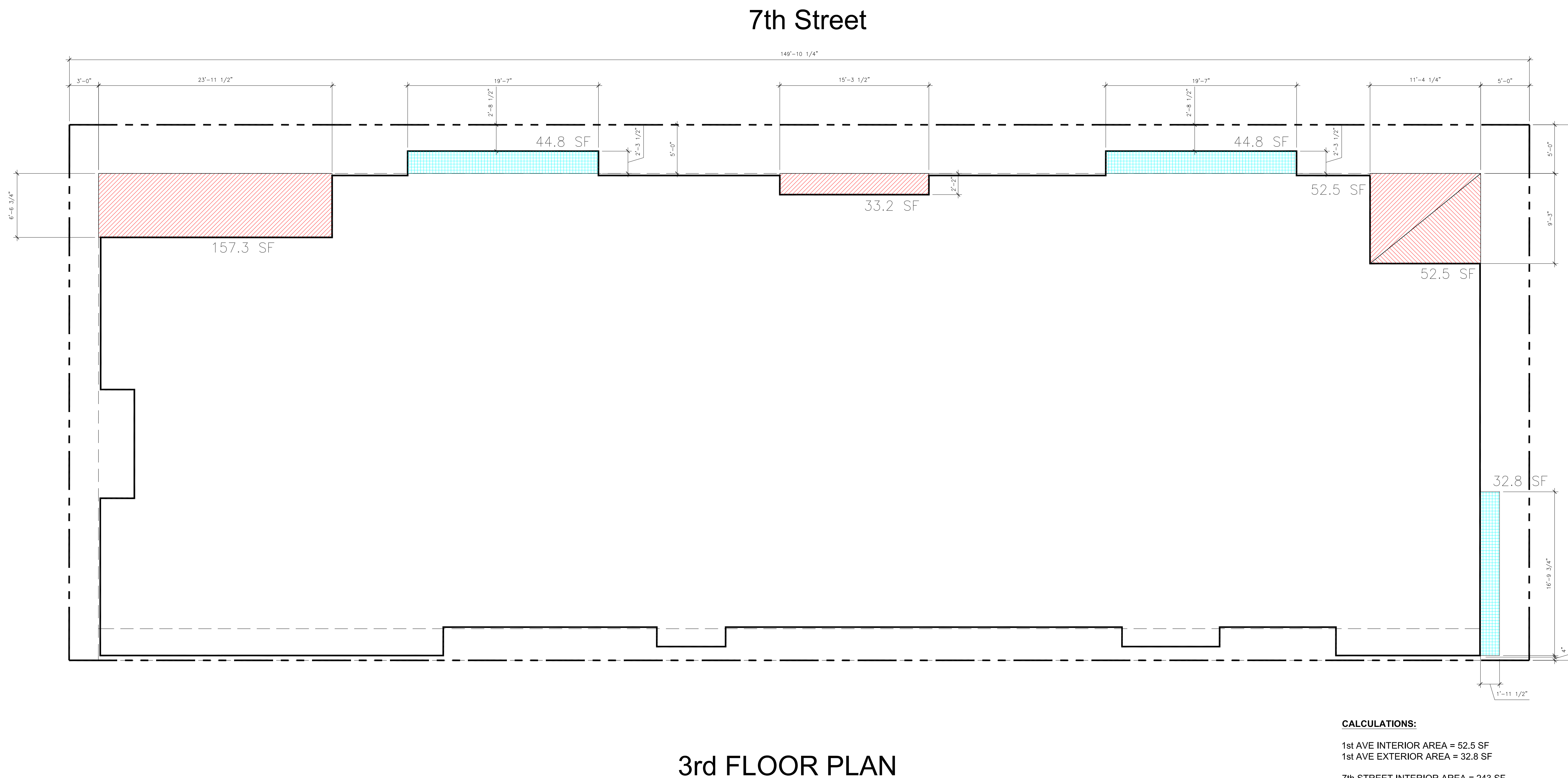
691 N 1st AVE
 KETCHUM, IDAHO

ARCHITECTURAL
 AVERAGE SETBACK
 FLOOR PLAN





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3rd FLOOR PLAN

CALCULATIONS:
 1st AVE INTERIOR AREA = 52.5 SF
 1st AVE EXTERIOR AREA = 32.8 SF
 7th STREET INTERIOR AREA = 243 SF
 7th STREET EXTERIOR AREA = 89.6 SF

NOT FOR CONSTRUCTION

REVISION DATE	ISSUE/DATE	PRE-APP DR	7/30/24
	DRAWN BY	DPH / JJR	
	CHECKED BY	DPH / JJR	
	DATE	03/12/24	
	JOB NO.	1098	

**THE RESIDENCES
 @ 691 1st**

691 N 1st AVE
 KETCHUM, IDAHO

**ARCHITECTURAL
 AVERAGE SETBACK
 FLOOR PLAN**

