



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF MARCH 28, 2023

PROJECT: Leadville Trading

FILE NUMBERS: P22-066 and P22-066A

APPLICATION TYPE: Final Design Review and Conditional Use Permit (CUP)

APPLICANT: Lucas Winter – The Jarvis Group Architects (architect)

PROPERTY OWNER: Acquire Realty, LLC

REQUEST: Design Review application for the development of a new 6,039 square foot two story commercial development and Conditional Use Permit for three on-site parking spaces.

LOCATION: 211 N Leadville Avenue - Ketchum Townsite: Block 3: Lot 5

ZONING: Community Core – Subdistrict 2 – Mixed Use (CC-2)

REVIEWER: Morgan R. Landers, AICP – Director of Planning and Building

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on March 8, 2023. The public hearing notice was published in the Idaho Mountain Express on March 8, 2023. A notice was posted on the project site and the city’s website on March 21, 2023, and March 13, 2023 respectively. Story poles were verified on the subject property on March 21, 2023.

I. EXECUTIVE SUMMARY:

The Applicant is proposing an 6,039 square foot two-story commercial development known as Leadville Trading (the “project”), located at 222 N Leadville Avenue (the “subject property”). The subject property is a vacant corner lot zoned Community Core -Subdistrict 2 - Mixed Use (CC-2) just southeast of Vintage Restaurant and the McCann Daech Fenton Realtors office, across from the Kneadery and another vacant lot on the opposite corner. As proposed, the project includes a 3,088 square foot basement with circulation and storage, 2,591 net square feet of restaurant space on the ground floor, 2,575 net square feet of office on the second floor. A rendering of the proposed building can be seen in Figure 1 below.

Figure 1: Rendering of Proposed Project



Based on the size and use of the units, no parking spaces are required for the project. The applicant has requested a conditional use permit to allow for the creation of three on-site parking spaces in the rear of the building accessed from the alley. The project proposes two two-car garages. Attachment A includes the application and supporting documentation, Attachment B includes the design review plan set with site plans and floor plans of each floor and corresponding square footage calculations.

The project proposes to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing, mitigating the additional floor area by making a community housing in-lieu payment of \$40,950. The total FAR for the project is 1.1, where 1.0 is permitted by right. See Attachment C for the FAR calculations and community housing calculations for the project.

The project will construct improvements to the right-of-way per the City of Ketchum improvement standards including, streetlights, asphalt alley, curb and gutter, and 8-foot sidewalks. The project proposes a paver sidewalk and to snowmelt the sidewalks adjacent to the project. The city engineer and streets department has conducted a preliminary review of all improvements and believes the improvements to meet the city's standards. Final review of all improvements to the right-of-way will be conducted by the City Engineer and Streets Department prior to issuance of a building permit. An encroachment permit approved by the City Council will be required for the sidewalk pavers and snow melt system.

Staff believes the project conforms to most of the zoning and dimensional standard requirements and most of the design review criteria. During the final review of the application materials, staff overlooked revisions to the rooftop mechanical equipment that were made as earlier plan sets were code compliant. The proposed rooftop mechanical equipment does not meet city setback requirements; however, the applicant has been notified and corrections will be made to bring the project into conformance. Regarding the design review standards, staff believes discussion is warranted regarding the north façade wall adjacent to Vintage Restaurant. Staff recommends the Commission review the application and provide feedback to the applicant. Staff supports the application for a conditional use permit for on-site parking. Below is an analysis of the items mentioned above. A full review of zoning and dimensional standards and design review criteria can be found in Attachments C and D respectively.

II. BACKGROUND:

The City of Ketchum received the application for Final Design Review and Conditional Use Permit on November 28, 2022. The Final Design and CUP applications have been reviewed concurrently and were deemed complete on December 30, 2022. Department comments were provided to the applicant on December 30, 2022,

outlining code compliance issues and feedback on design review criteria. Staff received revised submittals from the applicant in January 2023 and providing another set of comments on January 26, 2023. As of the date of this report, all comments have been resolved except for the rooftop mechanical setbacks and treatment of the north façade wall.

III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:

Per Ketchum Municipal Code (KMC) §17.96.010.A – *Applicability*, design review is required for all new mixed-use buildings. Before granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

Criteria #1: Health, Safety, and Welfare of the Public

The 2014 Comprehensive Plan outlines 10 core values that drive our vision for the future including a strong and diverse economy, vibrant downtown, community character, and a variety of housing options. The built environment within the downtown plays a key role in materializing these values to achieve the city's vision. The 2014 Comprehensive Plan designates the future land use for the subject property as "mixed-use commercial" where, according to the plan, "New structures in existing mixed-use areas should be oriented to streets and sidewalks and contain a mix of activities. Mixed-use development should contain common public space features that provide relief to the density and contribute to the quality of the street." Primary uses include offices, medical facilities, health/wellness-related services, recreation, government, residential, and services.

Policy CD-1.3 of Chapter 4 of the comprehensive plan states that "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style." The transition between buildings is a key design element and has the potential to impact the perceived cohesiveness of the downtown and can impact the way residents and visitors experience a place.

Staff believes the project meets many of the goals and policies of the plan. The project proposes ground floor restaurant space and a second-floor office space, both highly sought after uses in the Community Core. The total height of the building is just under 32 feet (two stories) on the N Leadville Ave side of the building which is a balance between the single story buildings adjacent to the subject property and the two and three story buildings within a one block radius of the subject property. In February of this year, the Commission approved a three-story building across the street to the east of the subject property.

One area of concern is the interface between the proposed project and the building to the north, Vintage Restaurant. The building that Vintage occupies is listed as an Historic Building with the City of Ketchum. Properties listed as Historic with the city of Ketchum can redevelop, however, retention of the historic structure is highly preferred. As shown on Sheet A3.1 of Attachment B, the wall that faces the Vintage Restaurant is 30 feet tall adjacent to the restaurant and 32 feet at the street. The applicant has represented that they are working with the restaurant owners and local artists for an art installation on the wall that will enhance the outdoor seating of the restaurant in the summer months and reduce the perceived flatness of the building. The Vintage Restaurant building is set back toward the rear of the property with surface parking in the front portion of the property. Staff believes the north façade of the building is a good opportunity for a mural placement that supports and enhances the history of the adjacent property and the successful restaurant.

Criteria #2: Applicable Standards and Criteria

Conformance with Zoning Regulations

During department review, city staff reviewed the project for conformance with all applicable zoning code requirements including uses, dimensional limitations, signage, parking, development standards, and dark skies.

The proposed development is subject to the requirements of Interim Ordinance 1234 as the application was filed after the effective date of the ordinance. Please see Attachment C for a full review of dimensional standards and Interim Ordinance 1234 requirements.

The proposed project meets all the requirements of the zoning regulations except for setbacks of mechanical equipment from building facades. Per KMC 17.12.040, non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof must be set back 10 feet from all building facades. As shown on the roof plan (Sheet A2.3), there are two areas designated for mechanical equipment that will be screened with metal paneling at a max height of 5 feet. The mechanical areas proposed vary in setback from 5-10 feet depending on the façade. The applicant has been notified of this issue and fully intends to comply with the code requirements. Staff recommends the applicant revise the roof plan prior to approval of the findings of fact should the project move forward.

Conformance with Design Review Improvements and Standards

During department review, city staff review the application for conformance with design review requirements outlined in KMC 17.96.070 – *Improvements and Standards* and KMC 17.96.070 – *Community Core (CC) projects*. A full review of all design review criteria can be found in Attachment D. In general, staff believes the majority of the standards have been met with the proposed project except for the flatness of the north façade wall.

Design review criteria F.5 states that “Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness”. As shown on Sheet A3.2, the building provides undulation and relief in multiple areas. The most prominent being the staggering of the building façade on the Leadville Ave side of the building. The north end of the façade is set back 4.5 feet where the south end of the façade (towards the corner) is set back 15 feet. This is further accentuated by the inclusion of a cantilevered balcony on the Leadville Ave side. On the 2nd Street side, the building is set back a consistent 5 feet, however, there is a recessed entrance to the building that provides relief at the ground level. Additionally, the west end of the second floor is set back significantly to accommodate a second level balcony. Due to the size of the setback, this portion of the building feels much like a one-story building from the pedestrian level.

The north façade is one portion of the building is an area of discussion. As shown on the south elevation of the building on Sheet A3.1, the north façade of the building has a zero-foot setback and contains some relief provided by recessed brick elements and horizontal banding. The elevation also shows the outline of the adjacent building, Vintage Restaurant. The corner is more prominent as the proposed material wrapping the corner is brick, however, the materials quickly shift to bronze metal paneling for the remainder of the facade. This surface appears very flat and much of the building is exposed due to the size of the adjacent historic structure. As noted above, the height of the building is 30 feet in the rear and 32 feet at N Leadville Ave.

As shown in Figure 2, Vintage is set back towards the rear of the property with surface parking in the front portion of the property. The applicant has represented that they are working with the restaurant owners and local artists for an art installation on the wall that will reduce the perceived flatness of the building.

Figure 2: Adjacent Property to the North (Vintage Restaurant)



One of the characteristics of Vintage is that it is small and tucked away. The proposed building could create a unique opportunity to enhance the “tucked away” feeling of the building with a mural that draws the attention of pedestrians into a unique sense of place. Staff believes the north façade of the building is a good opportunity for a mural placement that supports and enhances the history of the adjacent property and the successful restaurant.

IV. CONDITIONAL USE PERMIT CRITERIA

Per Section 12 of the interim ordinance, applicants can request relief from interim ordinance requirements by applying for a conditional use permit. As such, the applicant has requested a conditional use permit to allow for the construction of three on-site parking spaces. Section 11.d of the interim ordinance prohibits the construction of on-street parking spaces above and beyond what is required by code, except for community housing parking. As outlined in Attachment C, the proposed project requires no on-site parking and does not include community housing. Therefore, a conditional use permit must be granted for the three on-site parking spaces.

Pursuant to KMC Section 17.116.030, conditional use permits can be granted if and only if all criteria listed below are met. Below is the stated criteria and staff's analysis of each:

- *Criteria 1* - The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district;
 - *Analysis:* Until the adoption of Interim Ordinance 1234, parking was required for office uses in the community core subdistricts. Additionally, the preferred location of on-site parking is off the alley. All recent developments on single Ketchum townsite lots in the community core has provided alley loaded on-site parking spaces perpendicular to the alley for ease of access. The project proposes to locate the requested parking off the alley in a perpendicular fashion consistent with other development within the community core. Finally, the proposed parking is set back 3 feet from the property line which ensures that vehicles will not stick out into the alley and obstruct alley uses. Staff believes the allowance of the on-site parking spaces is compatible with other uses permitted in the zone district as the location and orientation are consistent with that of other similar projects.
- *Criteria 2* - The conditional use will not materially endanger the health, safety and welfare of the community;
 - *Analysis:* As the spaces are set back from the property line, vehicles parked in the spaces will not obstruct the use of the alley nor will it inhibit the safe use of nearby pedestrian corridors. Staff does not believe the on-site parking will endanger the health, safety and welfare of the community.
- *Criteria 3* - The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood;
 - *Analysis:* As noted above, the spaces are located in the rear of the building accessed from the alley. The set back of the parking spaces ensures that vehicles will not obstruct free and clear use of the alley. Additionally, the parking spaces can be accessed from the sidewalk through a door on the 2nd Street side of the building and the building contains a rear entrance near the parking with a designated route. Both of these features ensure that pedestrian come from or to the parking area can access the vehicles safely without having to walk through the alley. Staff believes that the location and accessibility of the proposed parking ensures that the use is not hazardous and does not conflict with existing and anticipated traffic.
- *Criteria 4* - The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area, or conditions can be established to mitigate adverse impacts; and
 - *Analysis:* No public facilities are required for the proposed on-site parking. As noted above, the location of the parking spaces ensures no obstructions to free and clear use of the alley by emergency vehicles or other necessary public services.
- *Criteria 5* - The conditional use is not in conflict with the policies of the comprehensive plan or the basic purposes of this chapter.

- *Analysis:* The intent of Section 11.D was to support the goals of the comprehensive plan in creating a vibrant downtown and diverse economy by not over-committing valuable ground floor commercial space to parking or luxury residential amenities like personal storage. Staff believes the proposed uses in the project positively contribute to the vibrancy of the downtown with the ground floor restaurant as the community has seen a decrease in restaurants in the past couple of years. In addition, 78% of the ground floor is dedicated to commercial uses. This percentage demonstrates that the project is designed to prioritize commercial uses. Additionally, the comprehensive plan encourages parking reductions to incentivize development of desired uses but acknowledges that parking in the community core may become challenging in the future. Overall, staff believes the on-site parking spaces does not conflict with the policies of the comprehensive plan as the proposed project still significantly contributes to the vibrancy of downtown and diverse economy with the uses proposed.

Staff supports the applicant's request for a conditional use permit for on-site parking as all five criteria are met.

V. STAFF RECOMMENDATION

Staff recommends the Commission review the application and provide feedback on the comments outlined by staff.

ATTACHMENTS:

- A. Application Materials and supporting documents (Design Review and CUP)
- B. Design Review Plan Set
- C. Zoning and Dimensional Standards Analysis
- D. Design Review Standards Analysis



City of Ketchum

Attachment A:
Application Materials and
supporting documents (Design
Review and CUP)



**City of Ketchum
Planning & Building**

OFFICIAL USE ONLY	
File Number:	P22-066
Date Received:	11/23/22
By:	HN
Pre-Application Fee Paid:	
Design Review Fee Paid:	\$2321.80
Approved Date:	11/28/22
Denied Date:	
By:	HN
ADRE Yes:	<input type="checkbox"/>
No:	<input type="checkbox"/>

Design Review Application

APPLICANT INFORMATION				
Project Name: Leadville Trading		Phone:		
Owner: Acquire Realty LLC		Mailing Address:		
Email:		401 E. City Ave., Ste 220, Bala Cynwyd, PA 19004		
Architect/Representative: The Jarvis Group Architects		Phone: 208-726-4031		
Email: lucas@jarvis-group.com		Mailing Address:		
Architect License Number: AR-1233		PO Box 4657 Ketchum, ID 83340		
Engineer of Record:		Phone:		
Email:		Mailing Address:		
Engineer License Number:				
<i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>				
PROJECT INFORMATION				
Legal Land Description: Lot 5, Block 3, Ketchum Townsite RPK00000030050, 211 Leadville Ave				
Street Address: NONE				
Lot Area (Square Feet): 5,504 SF				
Zoning District: CC-2				
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain				
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other				
Anticipated Use: Office/Commercial		Number of Residential Units: 0		
TOTAL FLOOR AREA				
	Proposed		Existing	
Basements	2,008	Sq. Ft.	0	Sq. Ft.
1 st Floor	3,126	Sq. Ft.	0	Sq. Ft.
2 nd Floor	2,834	Sq. Ft.	0	Sq. Ft.
3 rd Floor		Sq. Ft.	0	Sq. Ft.
Mezzanine		Sq. Ft.		Sq. Ft.
Total	7,968	Sq. Ft.	0	Sq. Ft.
FLOOR AREA RATIO				
Community Core: 1.08		Tourist:		
		General Residential-High:		
BUILDING COVERAGE/OPEN SPACE				
Percent of Building Coverage: 56.8%				
DIMENSIONAL STANDARDS/PROPOSED SETBACKS				
Front: 4'-6 1/2" Leadville	Side: 4'-6' 2nd Street	Side: 0	Rear: 3'-0" Alley	
Building Height: 31'-0"				
OFF STREET PARKING				
Parking Spaces Provided: (3) Three				
Curb Cut: 0 Sq. Ft. 0 %				
WATER SYSTEM				
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water		

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

 - Lucas Winter, Project Architect
Signature of Owner/Representative _____ Date 11.22.2022

Once your application has been received, we will review it and contact you with next steps.
No further action is required at this time.

DESIGN REVIEW EVALUATION STANDARDS (May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

November 16, 2022



ACQUIRE REALTY LLC C/O DC
401 E CITY AVE STE 220
BALA CYNWYD, PA 19004

To whom it may concern,

Thank you for your inquiry about electrical service at 211 LEADVILLE AVE
KETCHUM, ID 83340

The property is located within Idaho Power's service area in the state of Idaho

Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer, and in compliance with the statutes of the State of Idaho/Oregon and the Idaho Power tariffs on file with our regulators. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

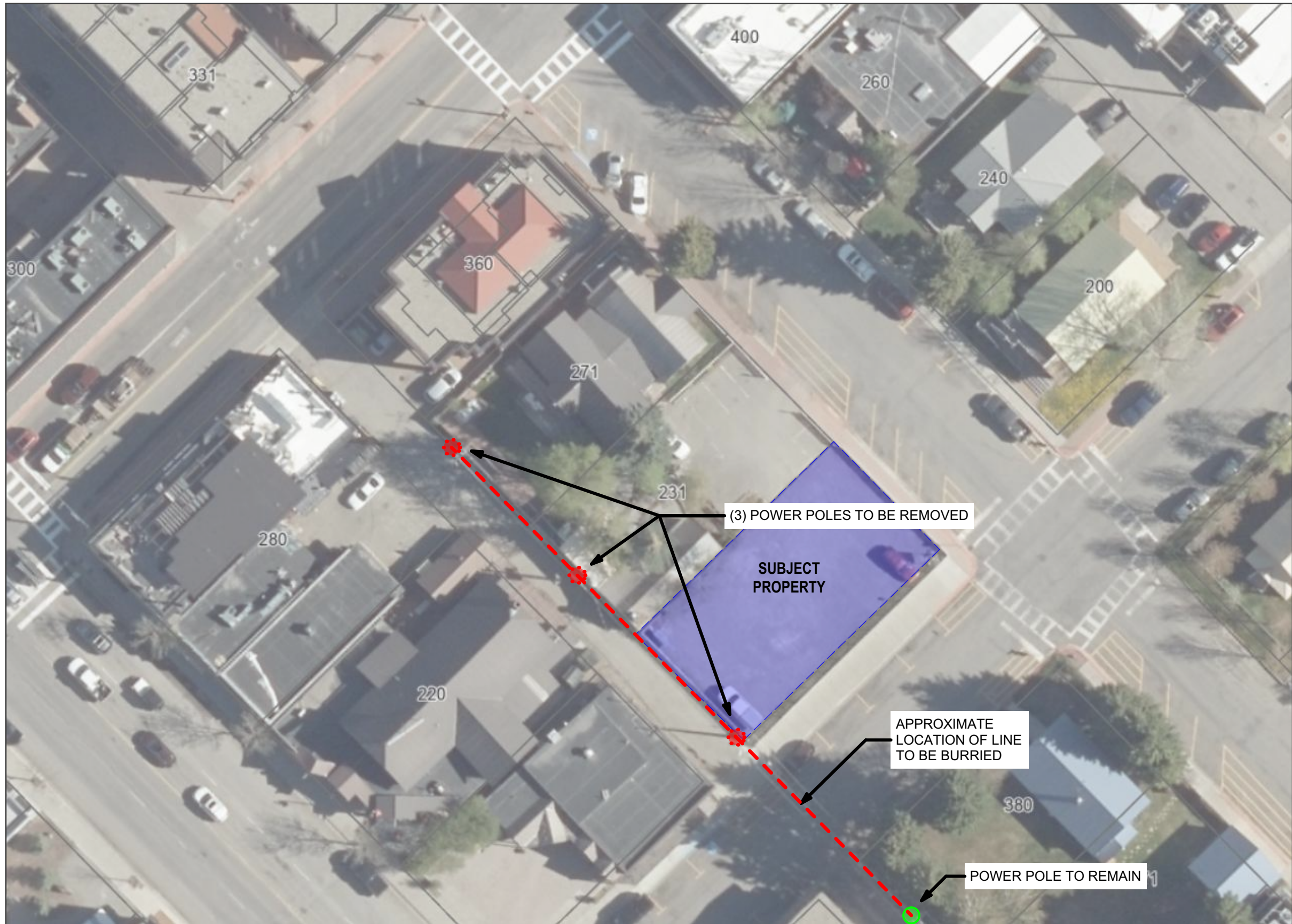
Idaho Power Company has reviewed the site plan for the Leadville Trading Building at the above address. The service size and voltage have not been provided to date. A three phase sector and single phase transformer dimensions have been sized, with required clearances, to sit on property at 211 Leadville adjacent to the alley as shown on site plan provided by The Jarvis Group, Sheet SD-023R Power Equipment Location.

This representation does meet Idaho Power specifications.

Sincerely,

Cyndi Bradshaw

Cyndi Bradshaw
PO Box 3909
Hailey ID 83333



Lucas Winter

Subject: FW: Leadville Trading - Undergrounding Communications

From: Lister, Brandon (CCI-Central Region) <Brandon.Lister@cox.com>

Sent: Thursday, February 2, 2023 1:41 PM

To: Lucas Winter <lucas@jarvis-group.com>

Subject: RE: Leadville Trading - Undergrounding Communications

Lucas,

We do not have a participation letter but, we will participate in the relocation of the aerial to underground and any Joint Trench involved within this project. The aerial to underground portion will require a financial reimbursement before we will be able to proceed with that portion of the project. Let me know if you have any questions.

Thanks,

Brandon Lister

Construction Planner III

Outside Plant Construction

340 Lewis St, Ketchum, ID 83340

Cell 208.727.7329

Office 208.928.7904



Lucas Winter

Subject: FW: 211 Leadville, Ketchum - Overhead Line Relocation

From: McNew, Bradley <Bradley.McNew@lumen.com>

Sent: Thursday, February 2, 2023 12:45 PM

To: 'Bradshaw, Cyndi' <CBradshaw@idahopower.com>

Cc: Lucas Winter <lucas@jarvis-group.com>

Subject: RE: 211 Leadville, Ketchum - Overhead Line Relocation

Cyndi,

We are on the poles in there and once you have a design we can follow and go joint trench.

Any questions let me know.

LUMEN

Brad McNew

Program Manager

tele: 208-646-3599

mobile: 208-731-0239

From: Bradshaw, Cyndi <CBradshaw@idahopower.com>

Sent: Friday, January 27, 2023 12:48 PM

To: Bodsford, Benjamin <Benjamin.Bodsford@lumen.com>; McNew, Bradley <Bradley.McNew@lumen.com>

Cc: Lucas Winter <lucas@jarvis-group.com>

Subject: 211 Leadville, Ketchum - Overhead Line Relocation

Hi there – I'm working with this group on new construction at the above address, and the relocation of the overhead power poles/line to underground. Please let us know what your plant is in this area and how or what you would need if anything for this relocation.

Thank you,

Cyndi Bradshaw

SR. DISTRIBUTION DESIGNER

Idaho Power Company | Distribution Design

11831 Highway 75 | Hailey, ID | 83333

PO Box 3909 | Hailey, ID | 83333

Work: 208-788-8002

Mobile: 208-309-2614

Email: cbradshaw@idahopower.com

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

January 16, 2023

City of Ketchum
Planning Department
P O box 2315
Ketchum, ID 83340

Re: Leadville Trading

To Whom it May Concern,

Please allow this letter to serve that Mark Deagle of the Jarvis Group Architects AIA PLLC has engaged in conversations with me, regarding a building mentioned above and the attached PDF. The conversations have been to the following:

This site will provide space for garbage dumpster. There is enough space and access to service the dumpster adequately, utilizing a "Garbage Glider" as indicated on the enclosed plan. This scenario will only work with a mechanized mode of transporting the dumpsters to alley for servicing, (Snow, Ice, Weight). *The enclosure will not be covered and will need maintenance of snow and the removal of snow and ice. This is an ongoing task and both the City and the Owner shall be aware of this extra effort and expense. As well as snow is not permitted to be placed in the alley.*

This site when finished as per the plans will satisfy all concerns for the safe and efficient removal of garbage service. I would like to mention that this is an example of high-quality planning that will benefit the owners of this site and the City. If I may be of further assistance during this process or in the future, please call.

Sincerely,

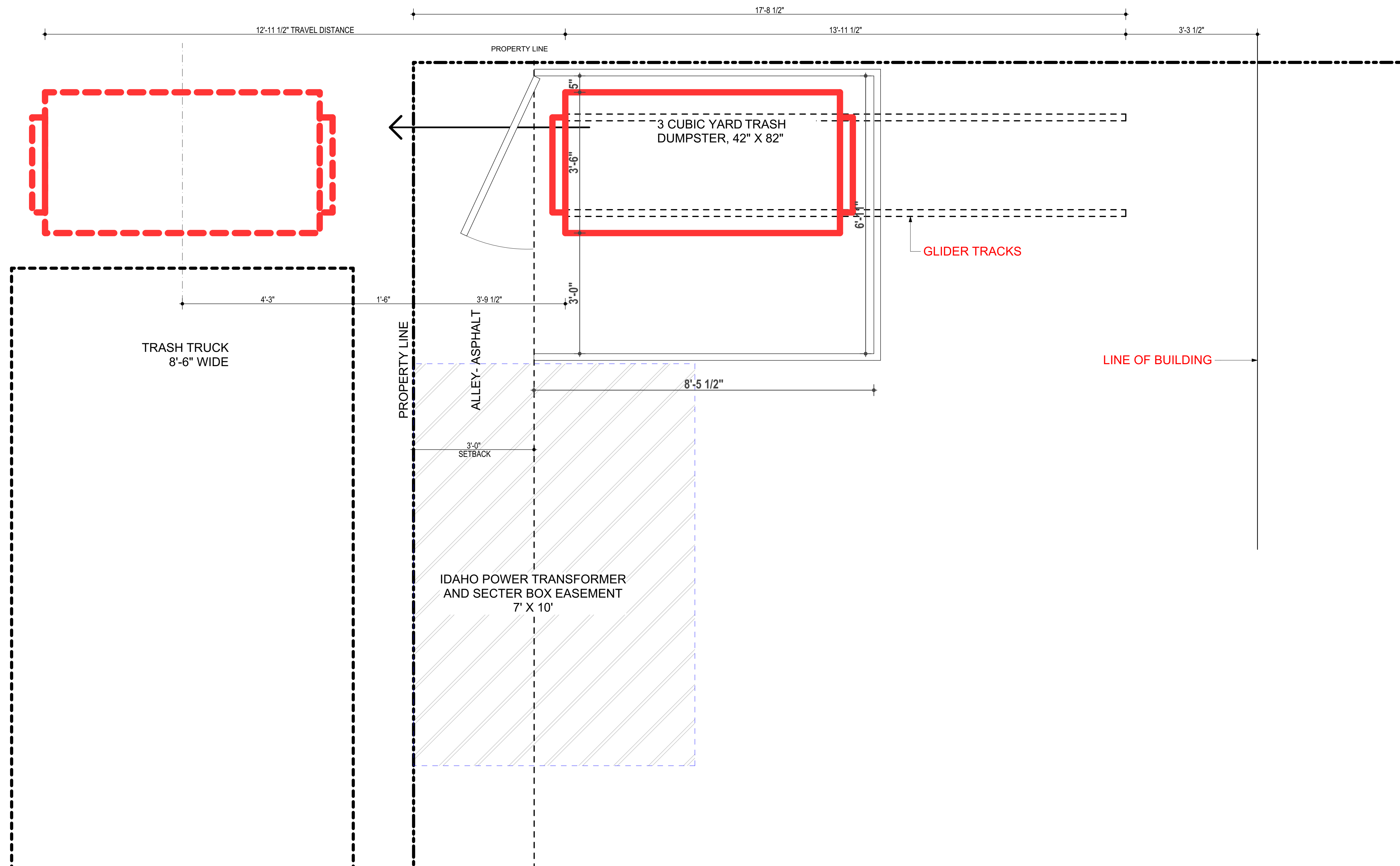


Mike Goitiandia
Clear Creek Disposal

CC. Mark Deagle

.Leadville Trading -- 1







City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number	P22-066A
Date Received	11/23/22
By	HN
Fee Paid	\$1100
Approved Date	11/28/22
Denied Date	
By	HN

Conditional Use Permit Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 191 5th St. West, Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

OWNER INFORMATION	
Project Name: Leadville Trading	
Name of Owner of Record: Acquire Realty LLC	
Physical Address: Lot 5, Block 3, Ketchum Townsite RPK00000030050, 211 Leadville Ave	
Property Legal Description: Lot 5, Block 3, Ketchum Townsite	
Property Zoning District: CC-2	
Contact Phone: 208-726-4031	Contact Email: lucas@jarvis-group.com
PROJECT INFORMATION	
Description of Proposed Conditional Use: Provide three on site parking spaces accessed from alley.	
Description of Proposed and Existing Exterior Lighting: Recessed LED can lighting in soffits, wall mount downlight LED sconces.	
ADDITIONAL COMMENTS	
ACCOMPANYING SUPPORTING INFORMATION REQUIRED	
<ul style="list-style-type: none"> Existing Site Plan Proposed Site Plan Landscape Plan Grading and Drainage Plan Exterior Lighting Plan and Specifications Other plans and studies related to the social, economic, fiscal, environmental, traffic, and other effects of the proposed conditional use, as required by the Administrator 	

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

 Lucas Winter, Project Architect

Applicant Signature

Date

11.22.2022



City of Ketchum

Attachment B: Design Review Plan Set

LEADVILLE TRADING



PROJECT TEAM

ARCHITECT:

THE JARVIS GROUP ARCHITECTS, AIA, PLLC
511 SUN VALLEY ROAD, SUITE 202
P.O. BOX 626
PHONE: 208.726.4031

SURVEYOR/CIVIL:

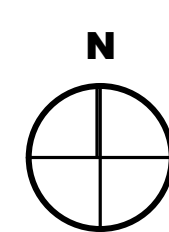
GALENA ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
317 NORTHRIVER STREET
HAILEY, ID 83333
PHONE: 208.788.1705

PROJECT TABULATION

PROJECT TABULATIONS	
FIRST FLOOR AREA (GROSS):	3,303 SF
SECOND FLOOR AREA (GROSS):	2,736 SF
TOTAL GROSS FLOOR AREA:	6,039 SF
BASEMENT:	3,088 SF
TOTAL NET AREA:	9,127 SF

FLOOR AREA CALCULATIONS	
SITE AREA:	5,504 SF
TOTAL GROSS FLOOR AREA:	6039 SF
FLOOR AREA RATIO:	1.10%
FLOOR AREA - ABOVE 1.0	535 SF

VICINITY MAP



GENERAL NOTES

- THIS PROJECT SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY KETCHUM BUILDING AND FIRE DEPARTMENTS, STATE ELECTRICAL INSPECTOR OR OTHER GOVERNING AUTHORITIES, AS NECESSARY.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL TEMPORARY UTILITIES, INCLUDING ELECTRICITY NECESSARY FOR CONSTRUCTION.
- ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED NEATLY ON SITE UNTIL DISPOSAL, WHICH SHALL BE DONE AT THE COUNTY LANDFILL OR RECYCLING FACILITY ONLY.
- EXCEPT AT INTERIOR ELEVATIONS, AND UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING, CENTERLINE OF COLUMNS, OR FACE OF CONCRETE AND C.M.U. WALL. GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR SHALL TAKE EXTRA CAUTION TO COORDINATE DIMENSIONS OF STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. VERIFY ANY DISCREPANCIES WITH ARCHITECT.
- CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- ALL SUBSTITUTIONS ARE TO BE APPROVED BY ARCHITECT. ALONG WITH WRITTEN REQUESTS, CONTRACTOR SHALL PROVIDE ALL INFORMATION REGARDING THE SUBSTITUTION IN QUESTION, INCLUDING AVAILABILITY AND REASON FOR SUBSTITUTION.
- SOLID WOOD BLOCKING, INSULATION OR OTHER FIRE STOP MATERIAL IS TO BE PROVIDED BETWEEN STORIES, BETWEEN TOP STORY AND ROOF SPACE, BETWEEN STAIR STRINGERS AT TOP AND BOTTOM, BETWEEN STUDS ALONG STAIR RUNS AND AT ALL OTHER PLACES THAT COULD AFFORD THE PASSAGE OF FLAME. FIRE STOPS BETWEEN CHIMNEY AND WOOD FRAME SHALL BE NON-COMBUSTIBLE.
- CONTRACTOR SHALL PROVIDE SAMPLES OF ALL FINISHES AND STAIN COLORS FOR APPROVAL BY OWNER / ARCHITECT. THIS INCLUDES INTERIOR AND EXTERIOR STAINS, INTERIOR PAINT, SHEETROCK TEXTURES, CHEMICALLY APPLIED METAL PATINAS, ETC.
- CONTRACTOR SHALL PROVIDE RADON MITIGATION
- ALL UTILITIES SHALL BE UNDERGROUND.
- SMOKE DETECTORS MUST BE INTERCONNECTED WITH A POWER SOURCE FROM THE BUILDING WIRING, AND SHALL BE EQUIPPED WITH BATTERY BACKUP
- ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT
- THE BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.

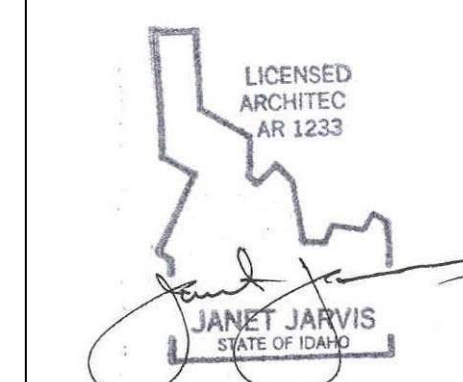
LEGAL DESCRIPTION

LOT 5, BLOCK 3, KETCHUM TOWNSITE

SHEET INDEX

A0.0	COVER SHEET
A1.0	SITE/LANDSCAPE PLAN
A1.1	STAKING PLAN
A1.2	SETBACKS/ FLOOR AREA
A1.3	SITE SURVEY
A2.0	FIRST FLOOR PLAN
A2.1	SECOND FLOOR PLAN
A2.2	BASEMENT PLAN
A2.3	ROOF PLAN
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A3.2	RENDERING
A3.3	EXTERIOR MATERIALS
E1.0	EXTERIOR LIGHTING PLAN
C0.10	CIVIL COVER SHEET
C1.00	CIVIL PLAN
C2.00	CIVIL DETAILS
C2.10	CIVIL DETAILS
C2.20	CIVIL DETAILS

ARCHITECT



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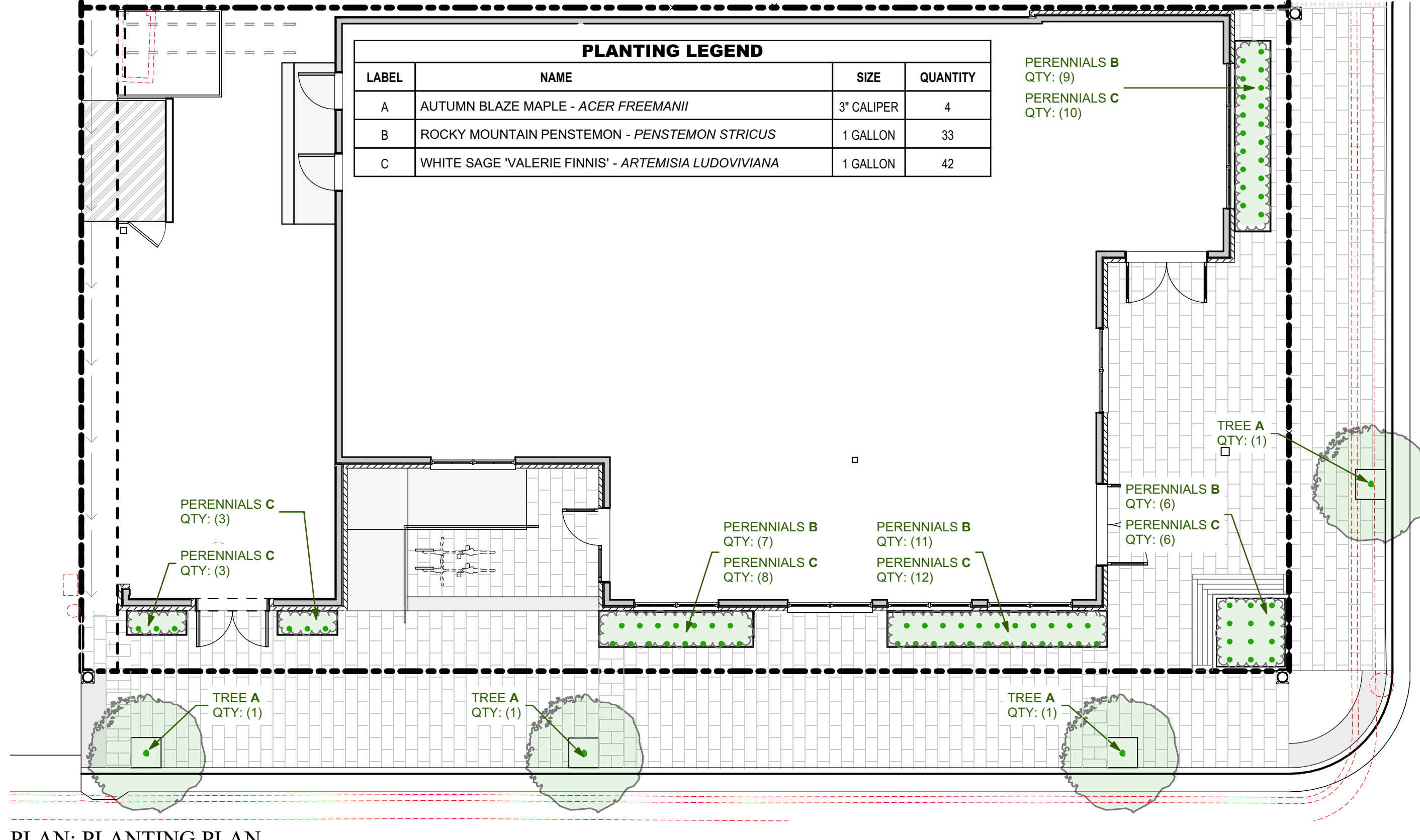
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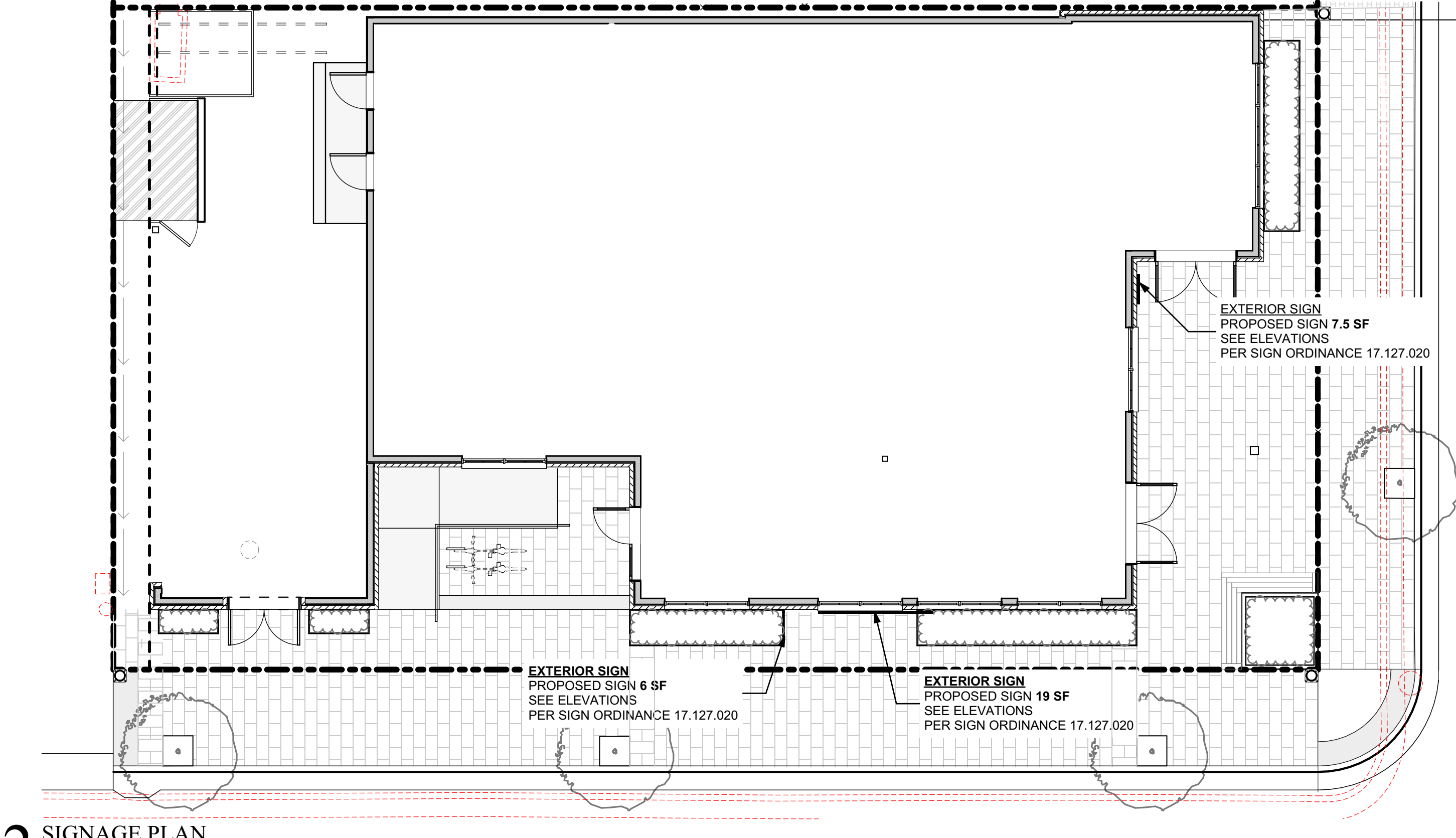
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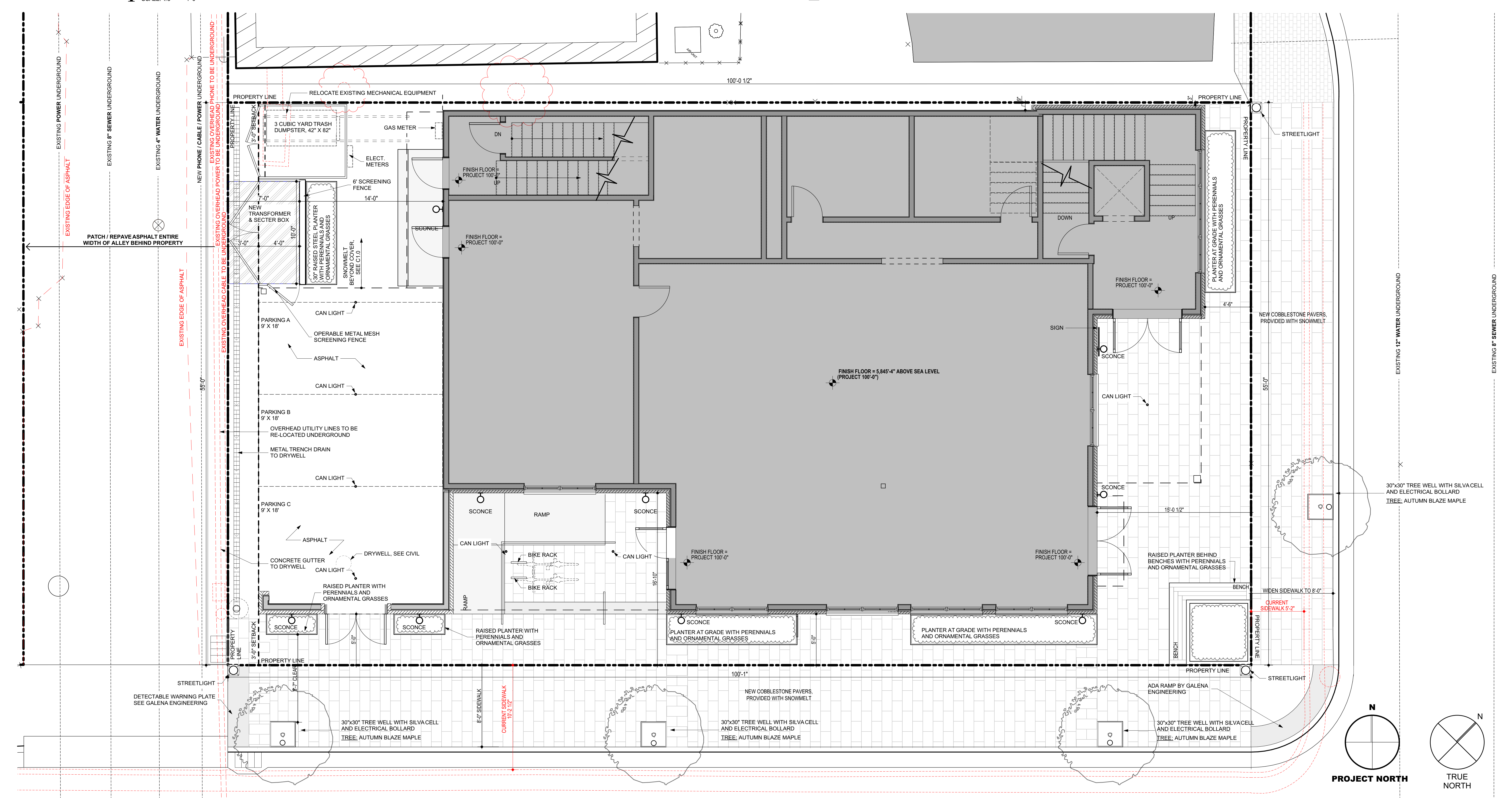
PLANTING LEGEND

LABEL	NAME	SIZE	QUANTITY
A	AUTUMN BLAZE MAPLE - ACER FREEMANII	3" CALIPER	4
B	ROCKY MOUNTAIN PENSTEMON - PENSTEMON STRICUS	1 GALLON	33
C	WHITE SAGE 'VALERIE FINNIS' - ARTEMISIA LUDOVIVIANA	1 GALLON	42

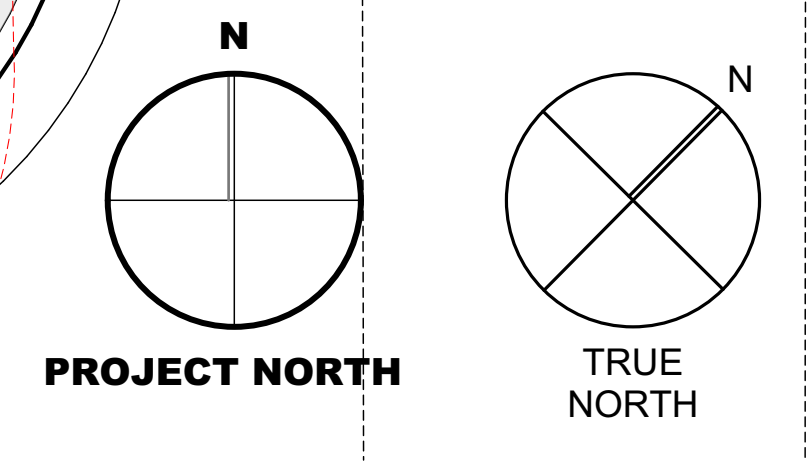
1 PLAN: PLANTING PLAN
SCALE: 1/8" = 1'-0"



2 SIGNAGE PLAN
SCALE: 1/8" = 1'-0"



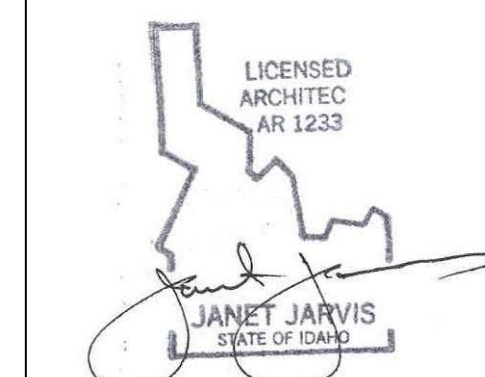
3 PLAN: SITE PLAN
SCALE: 1/4" = 1'-0"



SITE/LANDSCAPE PLAN

LEADVILLE TRADING
LOT 5, BLOCK 3 KETCHUM TOWNSITE
IDAHO
KETCHUM

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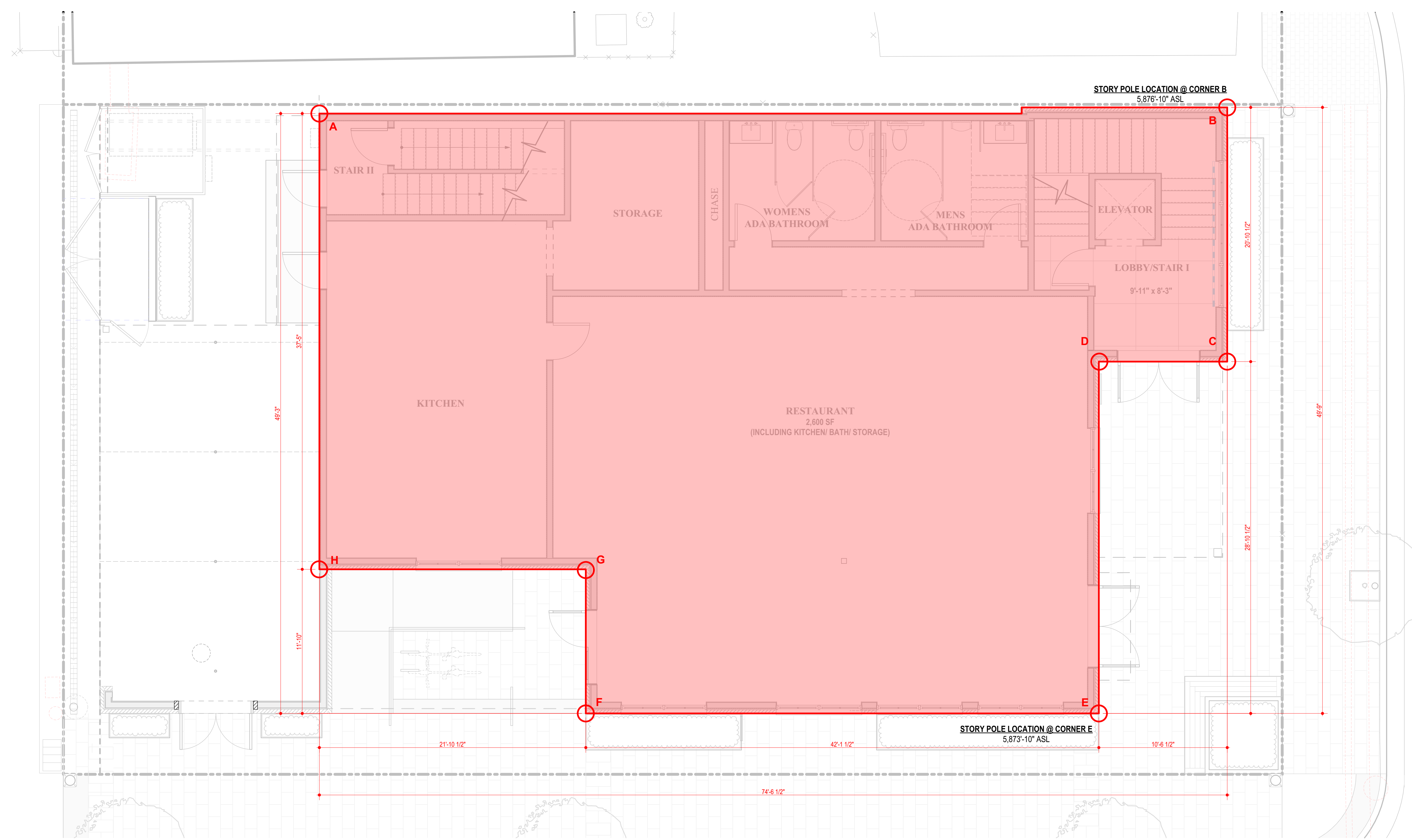
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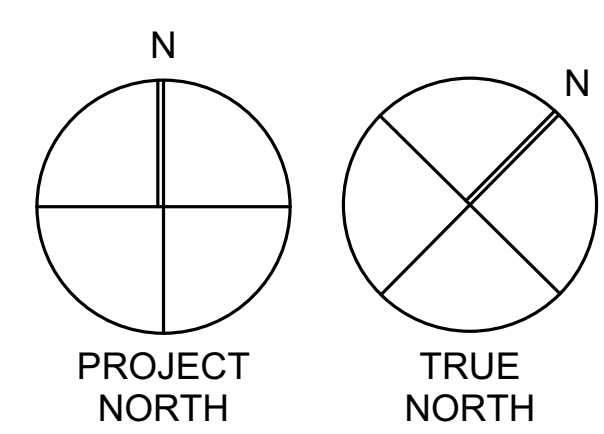
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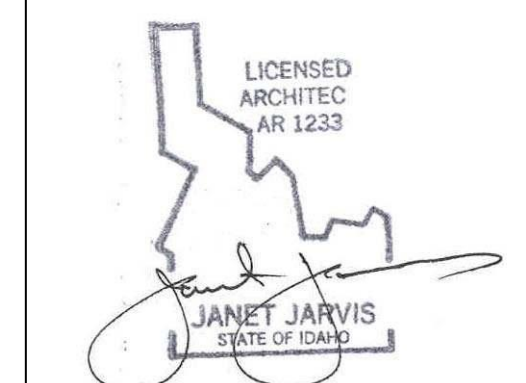


1 PLAN: STAKING PLAN
SCALE: 1/4" = 1'-0"



STAKING PLAN

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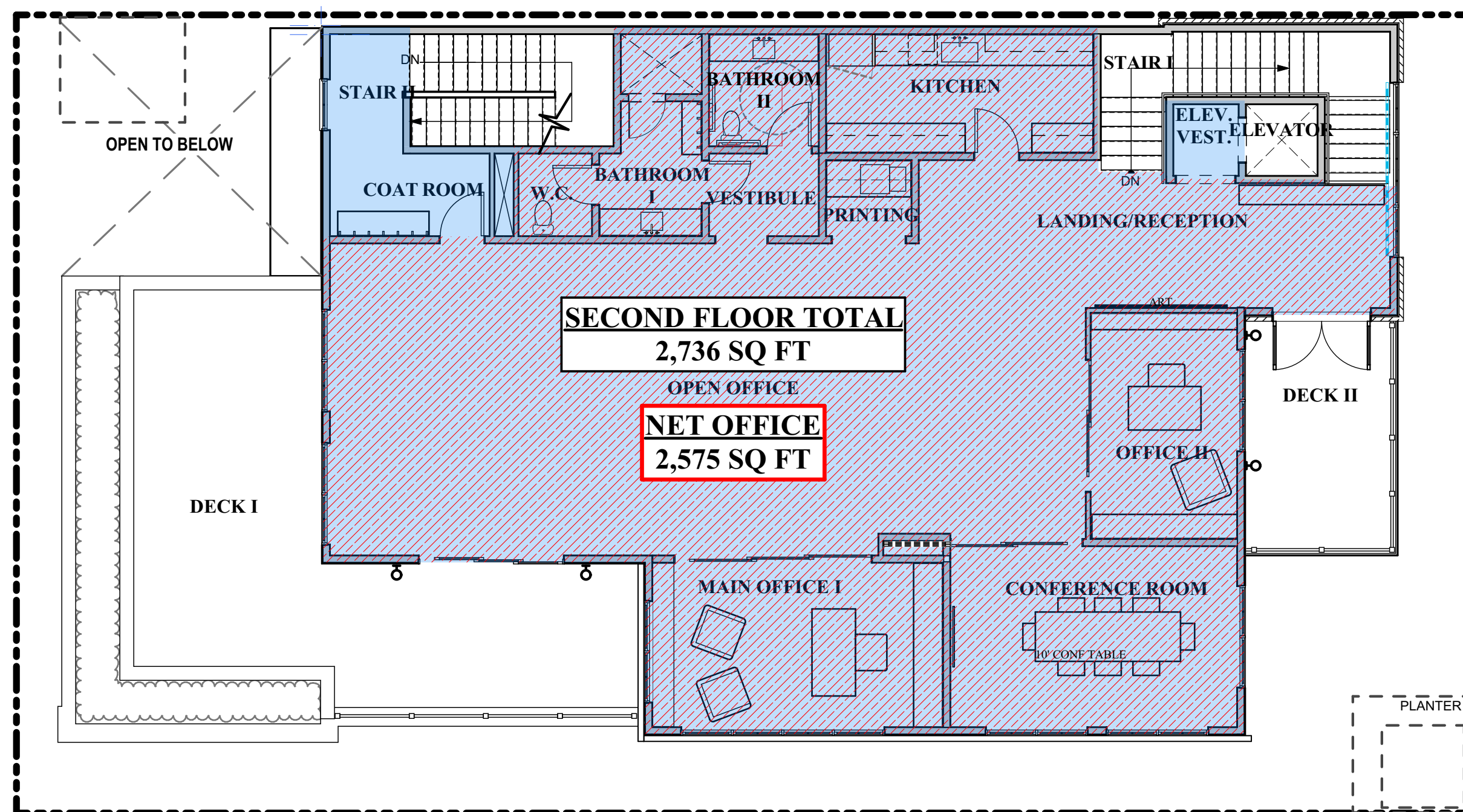
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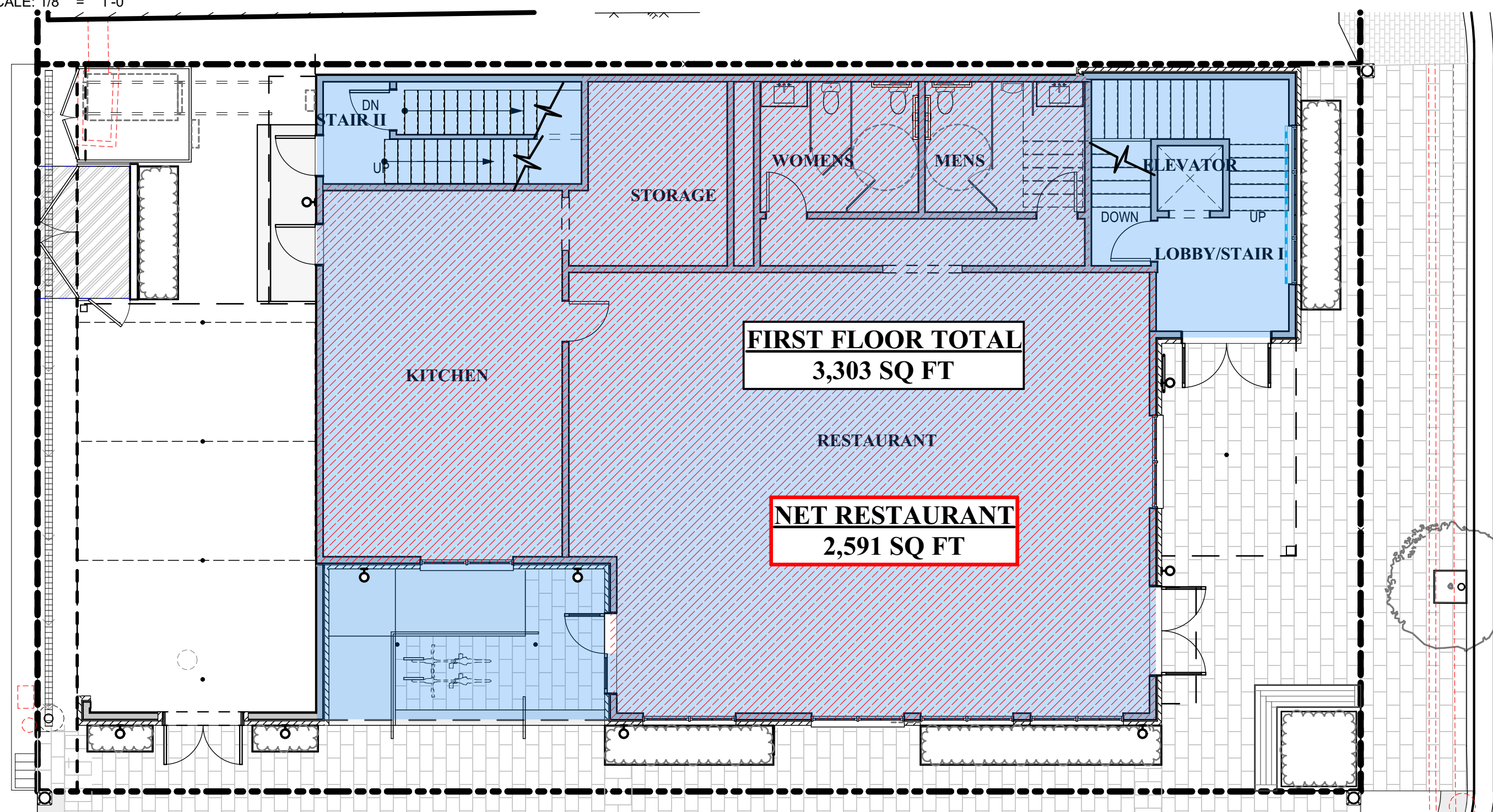
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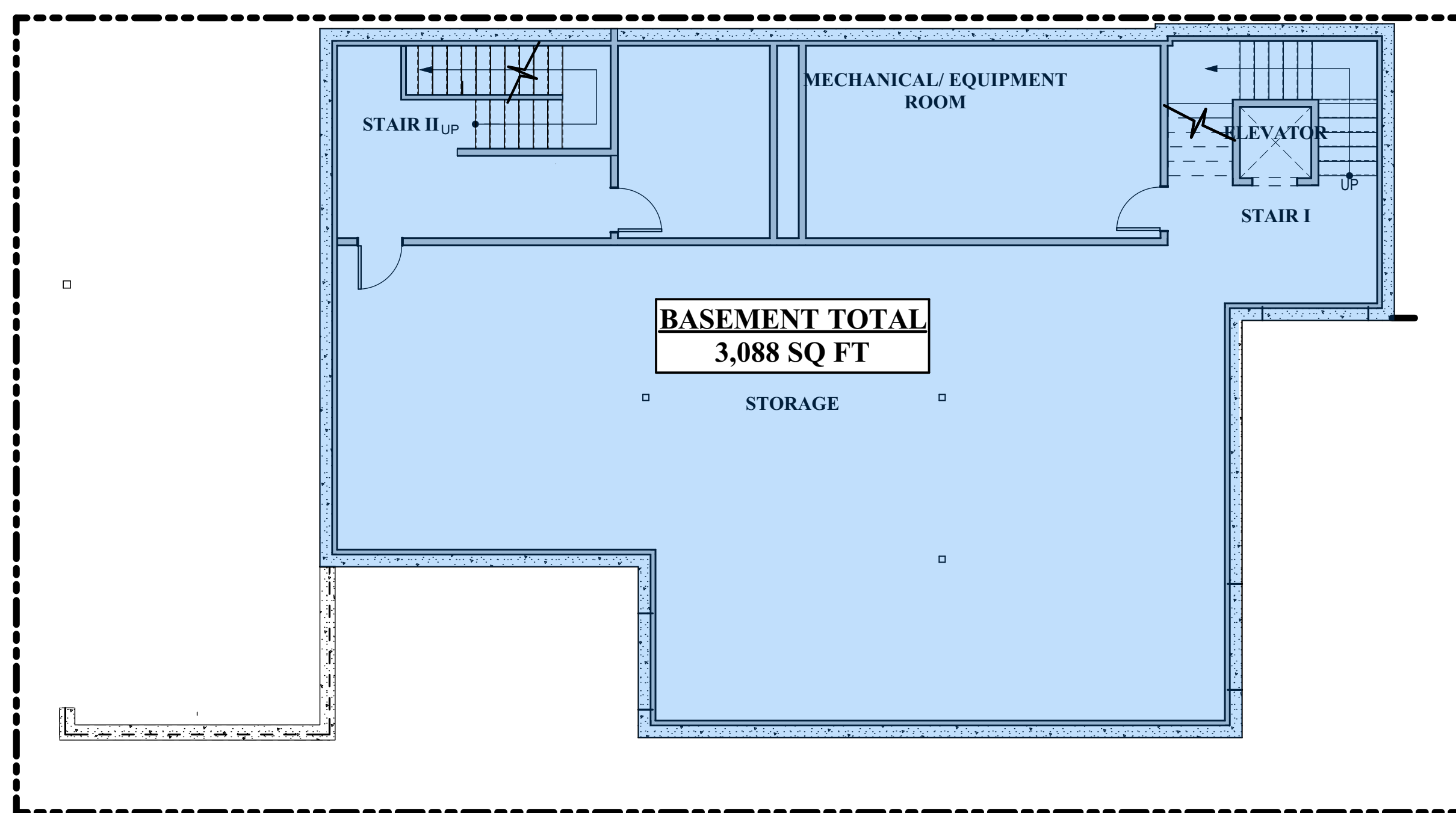
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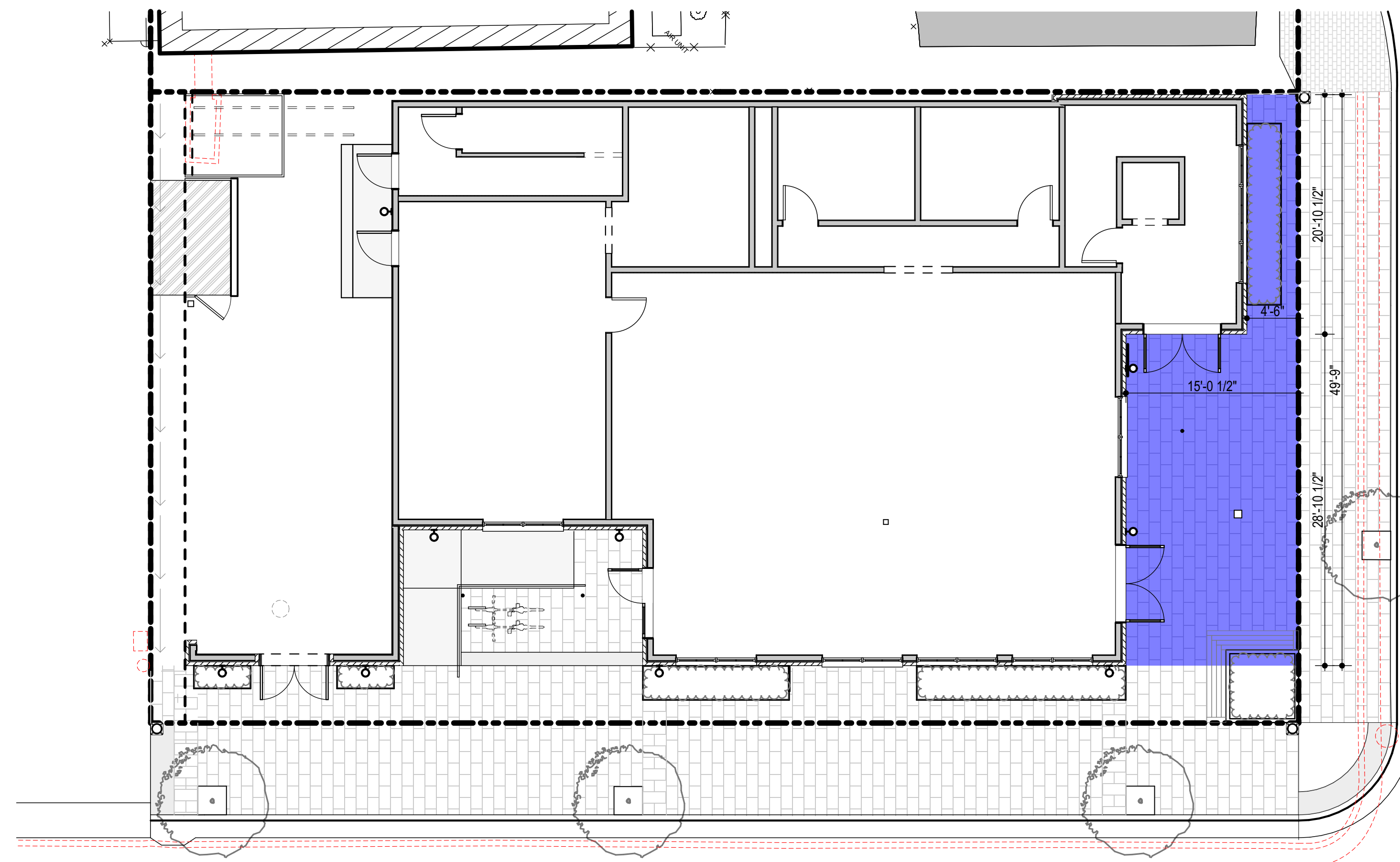
1 PLAN: SECOND FLOOR AREA
SCALE: 1/8" = 1'-0"



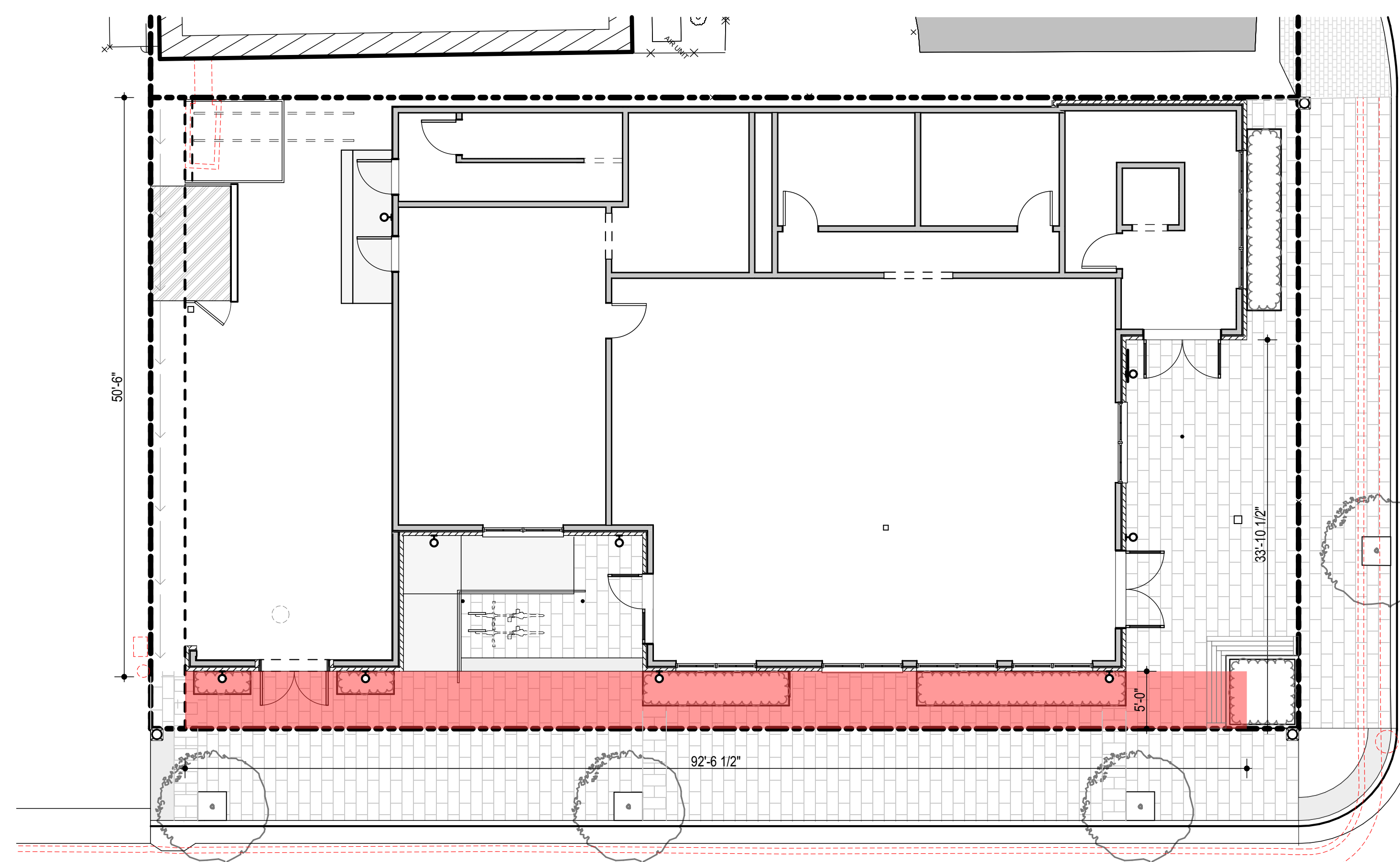
2 PLAN: FIRST FLOOR AREA
SCALE: 1/8" = 1'-0"



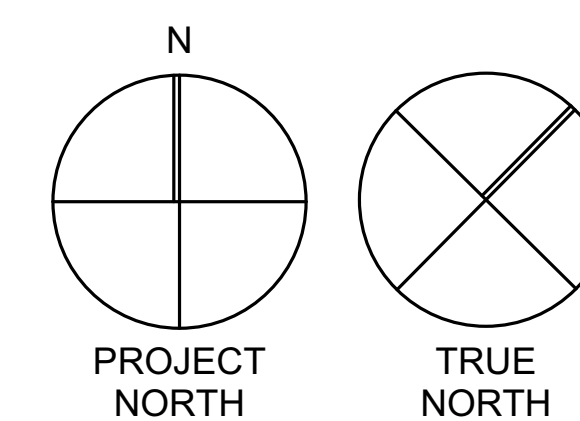
3 PLAN: BASEMENT FLOOR AREA
SCALE: 1/8" = 1'-0"



4 PLAN: 5' AVERAGE SIDE SETBACK PLAN
SCALE: 1/8" = 1'-0"

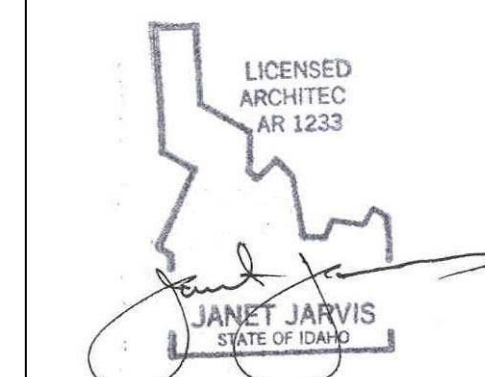


5 PLAN: 5' AVERAGE FRONT SETBACK PLAN
SCALE: 1/8" = 1'-0"



LEADVILLE TRADING
LOT 5, BLOCK 3 KETCHUM TOWNSITE
IDAHO
KETCHUM

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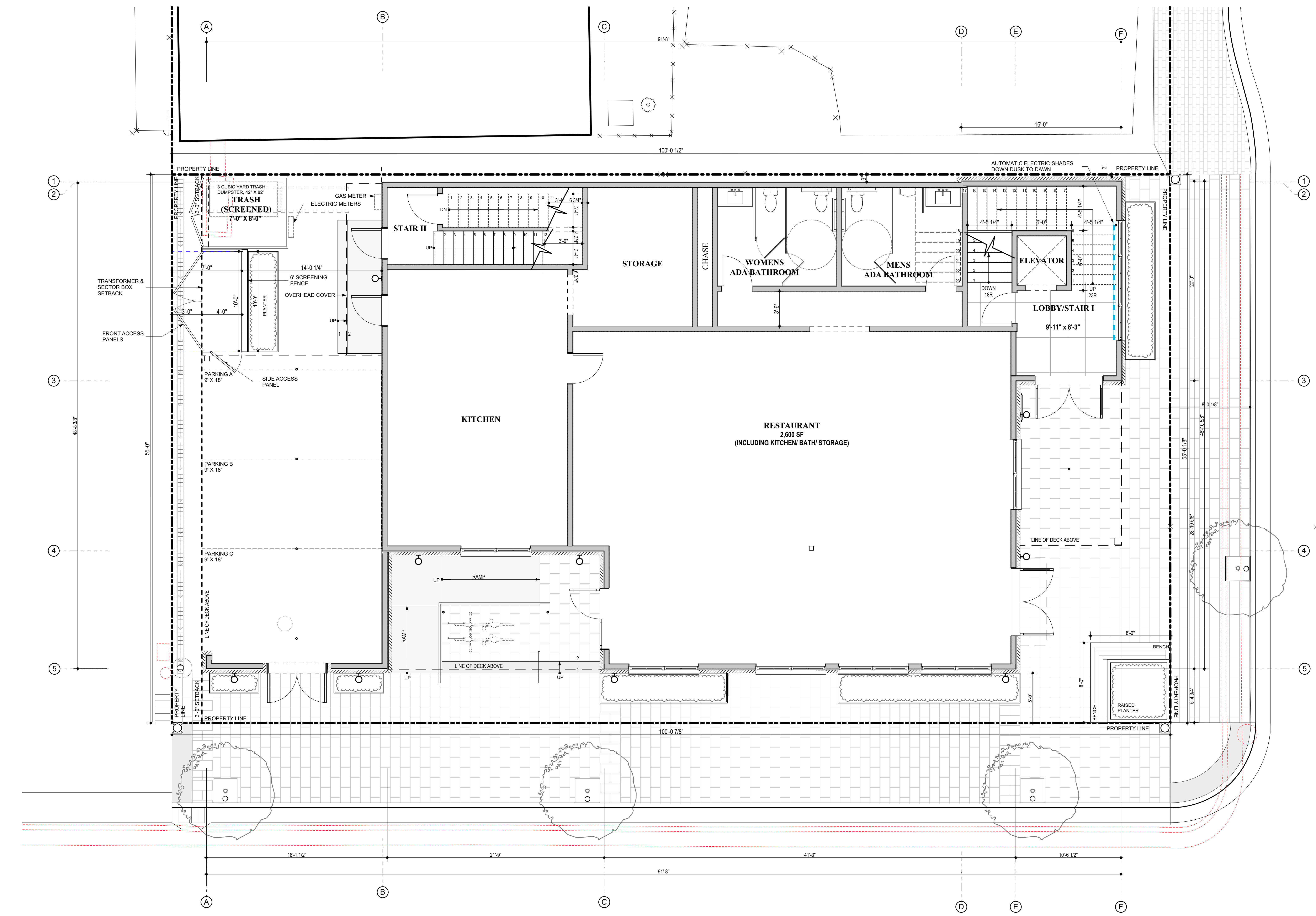
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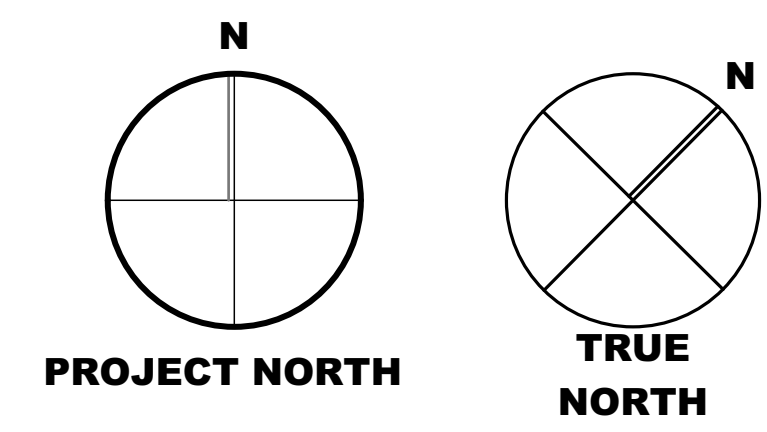
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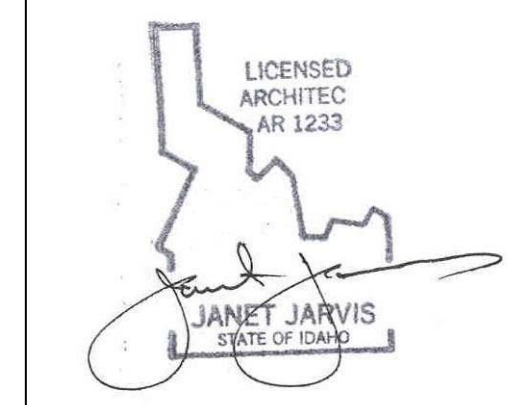
1 PLAN: FIRST FLOOR
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

LEADVILLE TRADING
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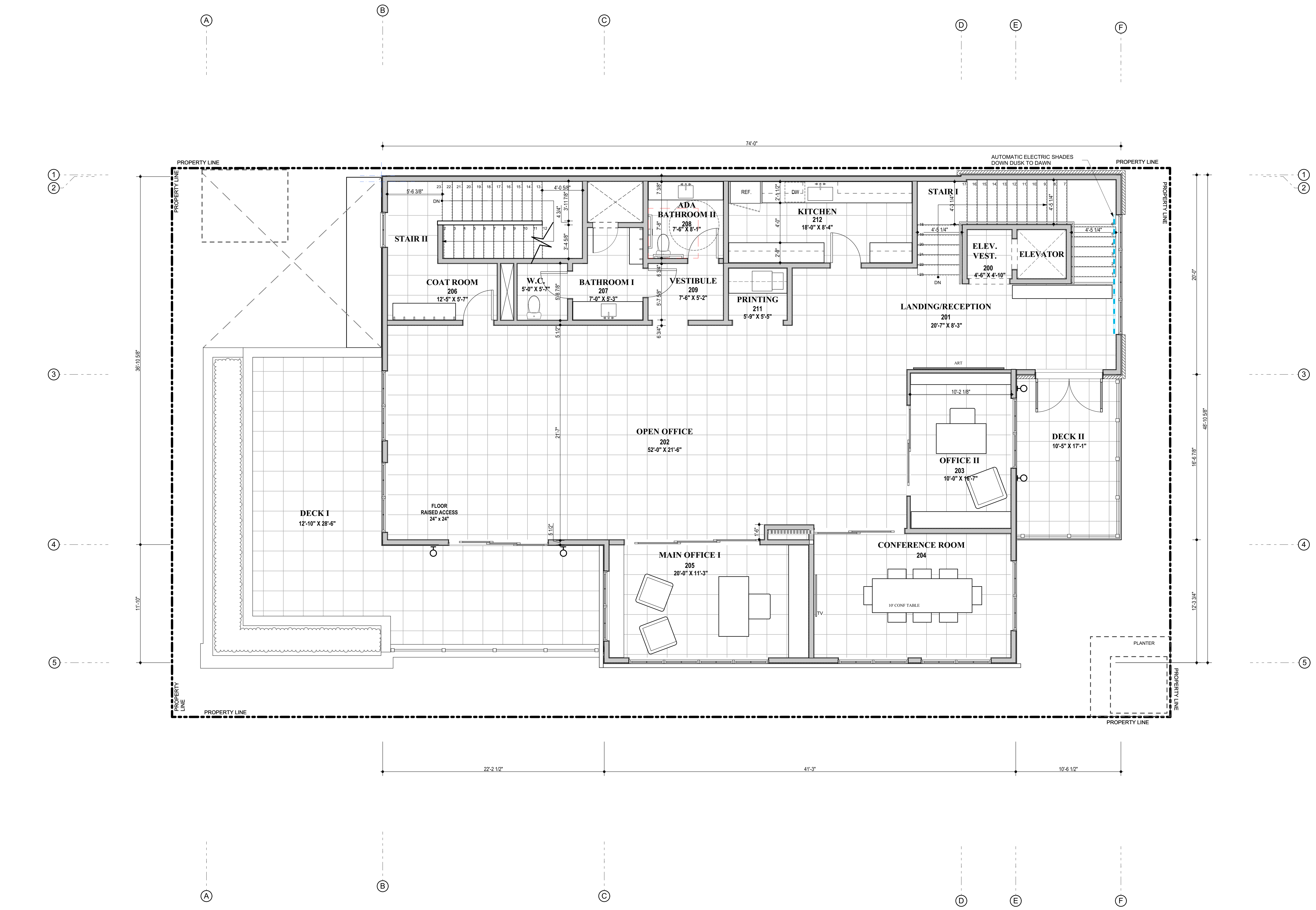
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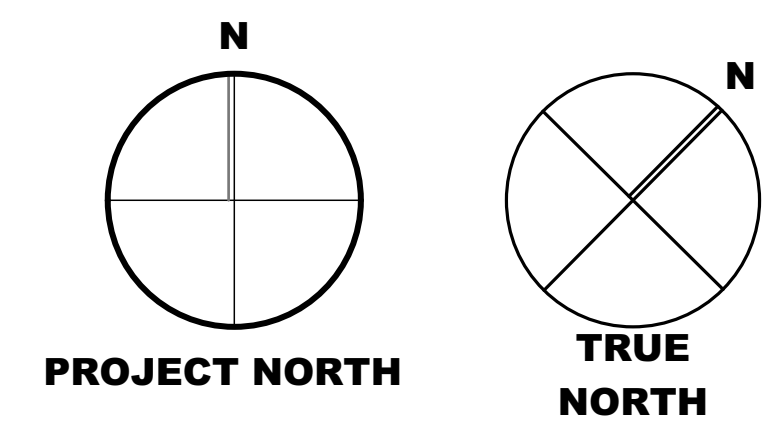
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A2.1

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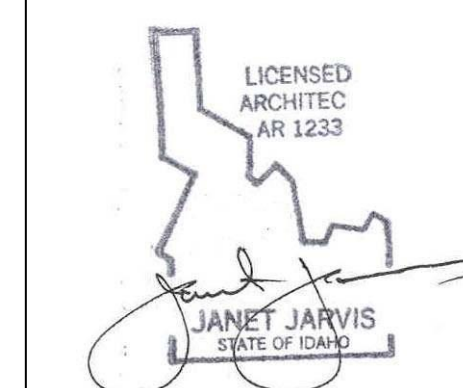
1 PLAN: SECOND FLOOR
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

LEADVILLE TRADING
LOT 5, BLOCK 3 KETCHUM TOWNSITE
KETCHUM
IDAHO

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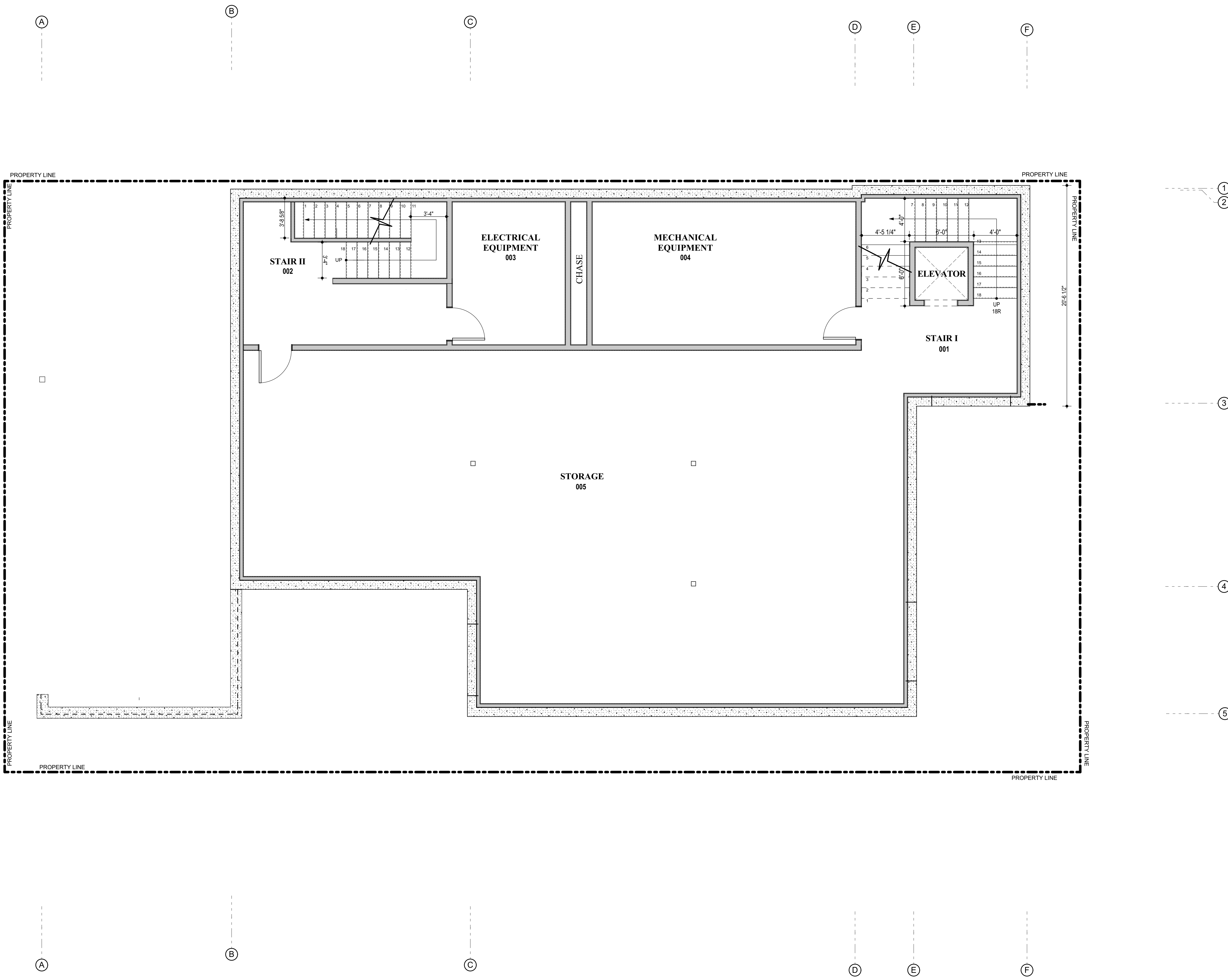
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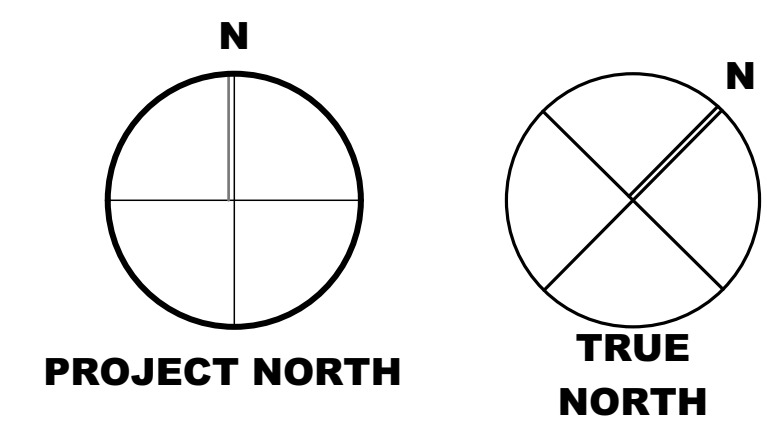
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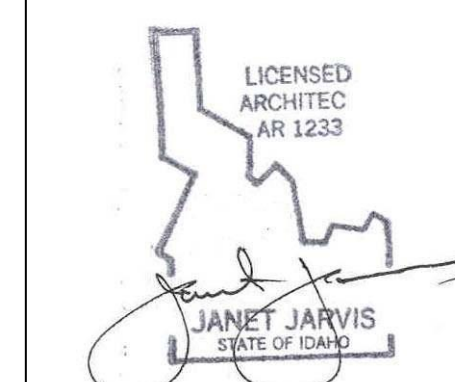
1 PLAN: BASEMENT
SCALE: 1/4" = 1'-0"



BASEMENT PLAN

LEADVILLE TRADING
LOT 5, BLOCK 3 KETCHUM TOWNSITE
IDAHO
KETCHUM

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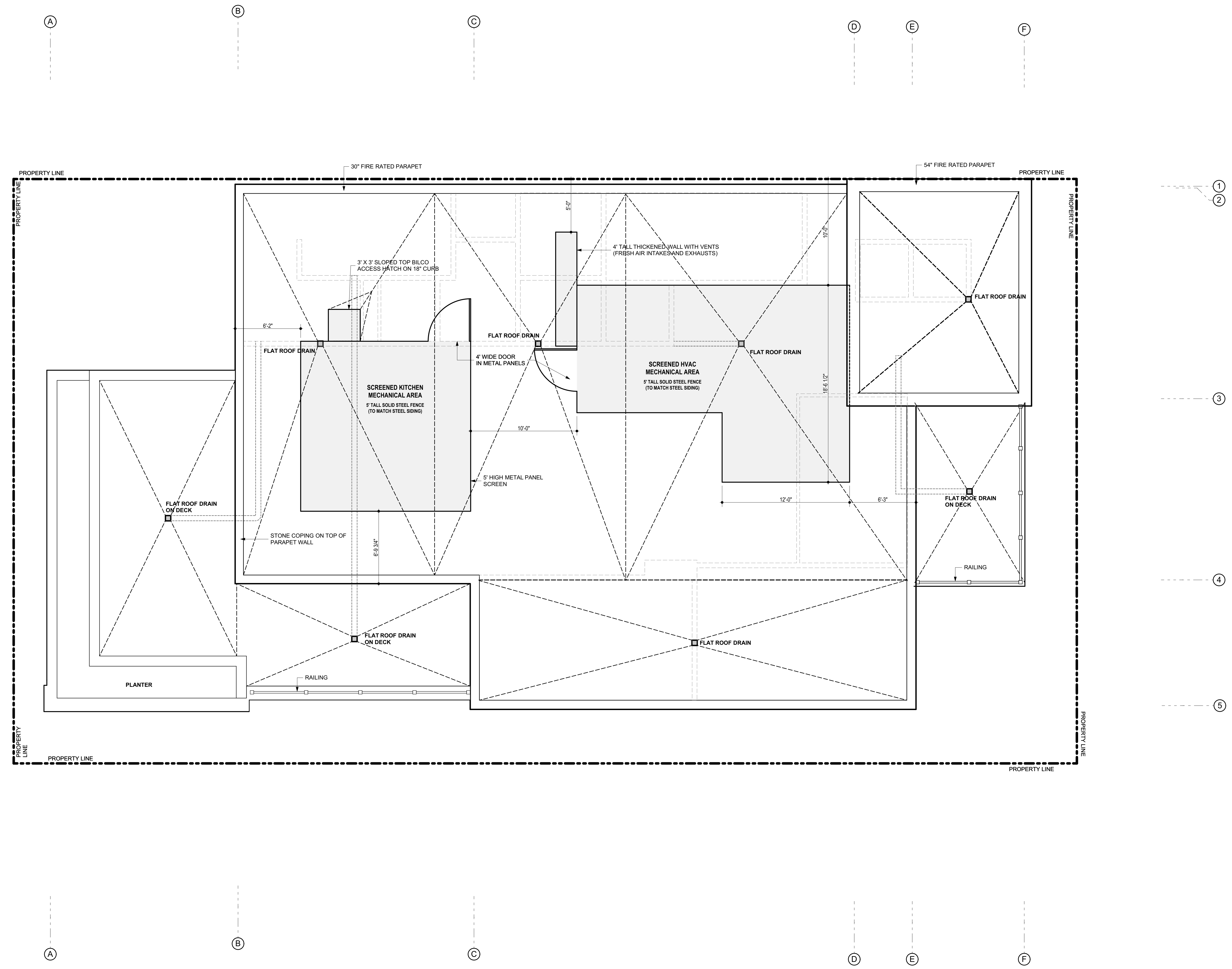
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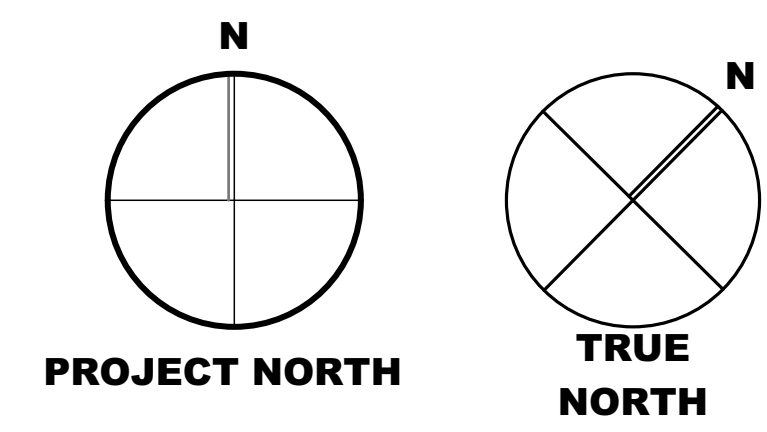
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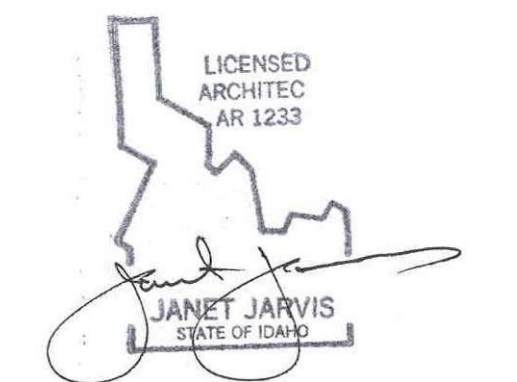
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1 PLAN: ROOF
SCALE: 1/4" = 1'-0"



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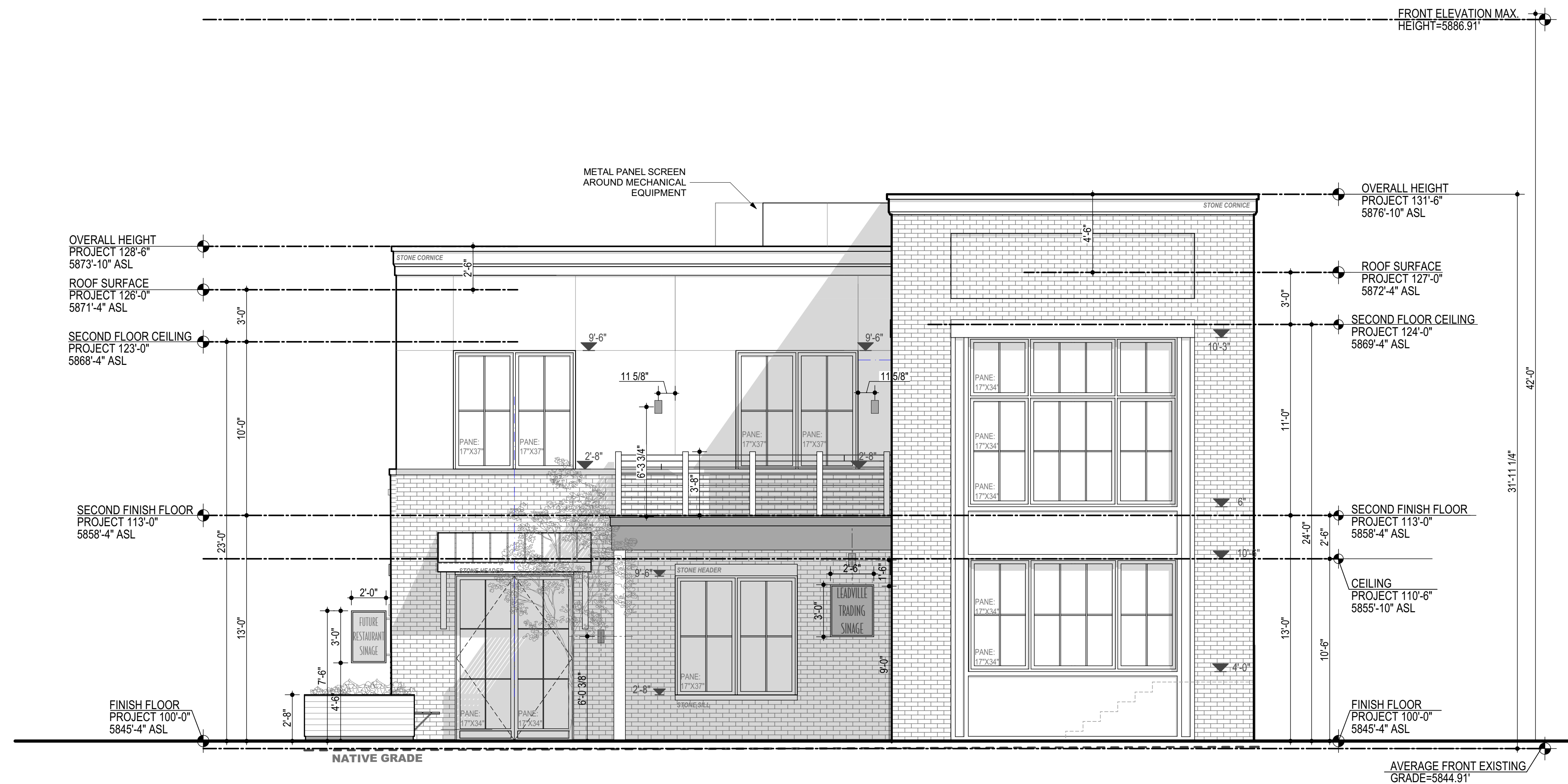
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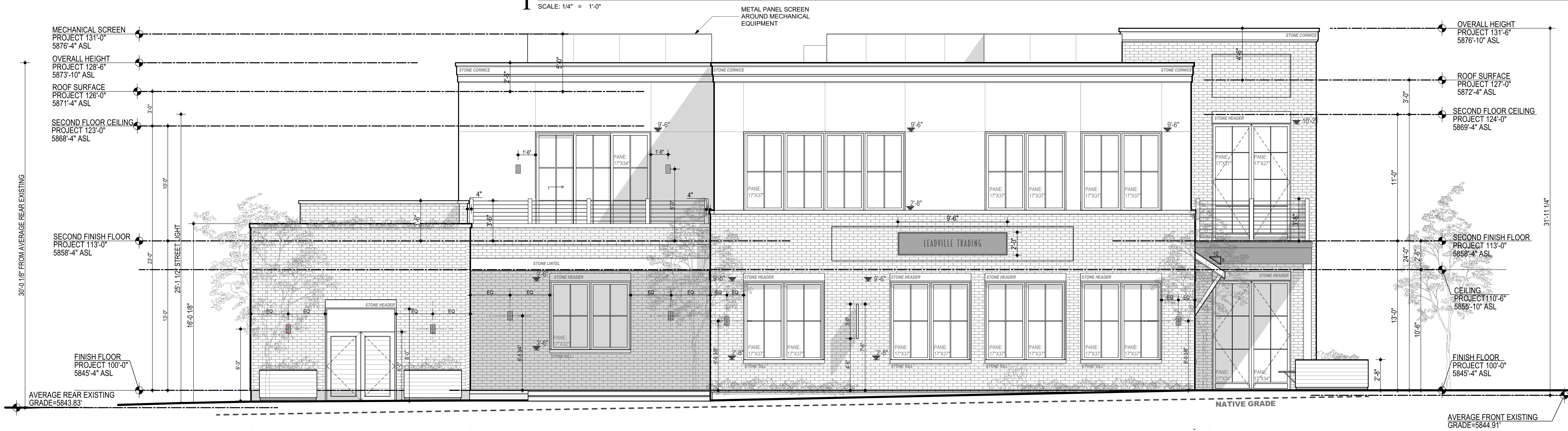
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1 ELEVATION: EAST
SCALE: 1/4" = 1'-0"

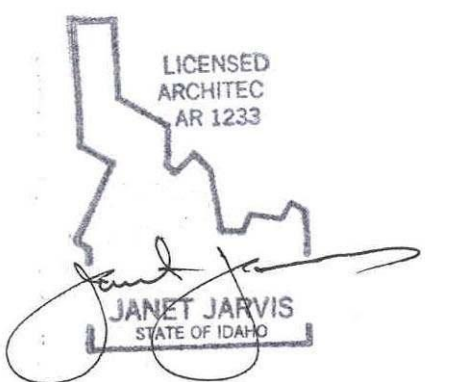


2 ELEVATION: SOUTH
SCALE: 1/4" = 1'-0"



3 ELEVATION: SOUTH (WITH NEIGHBORING BUILDING)
SCALE: 1/8" = 1'-0"

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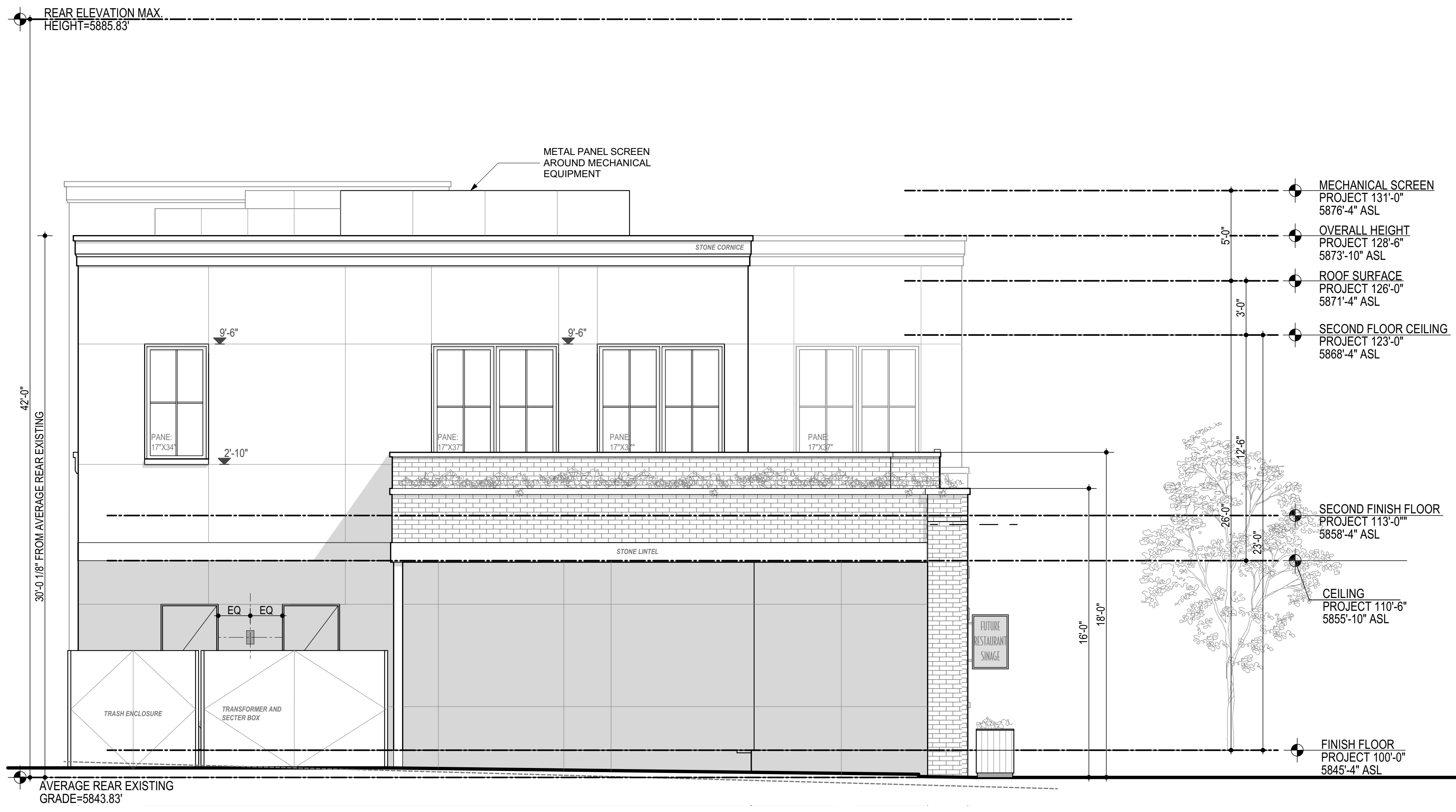
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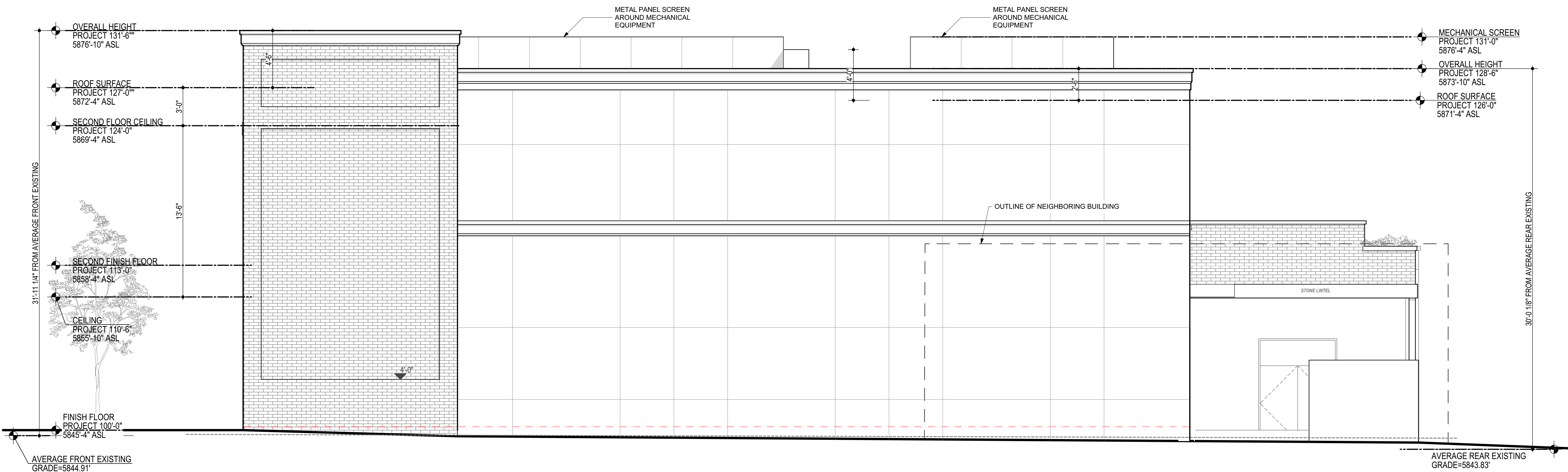
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PHOTO: TRANSFORMER COVER EXAMPLE



1 ELEVATION: WEST
SCALE: 1/4" = 1'-0"



2 ELEVATION: NORTH
SCALE: 1/4" = 1'-0"

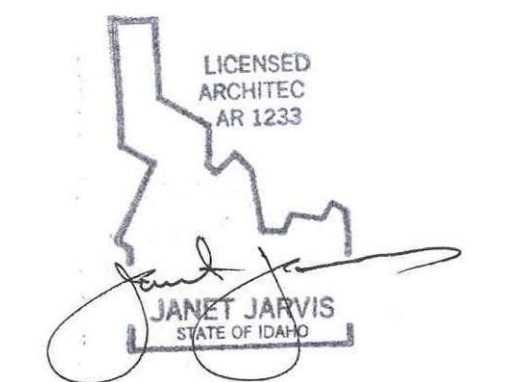


3 ELEVATION: EAST (WITH NEIGHBORING BUILDING)
SCALE: 1/8" = 1'-0"



LEADVILLE TRADING
LOT 5, BLOCK 3 KETCHUM TOWNSITE
KETCHUM
IDAHO

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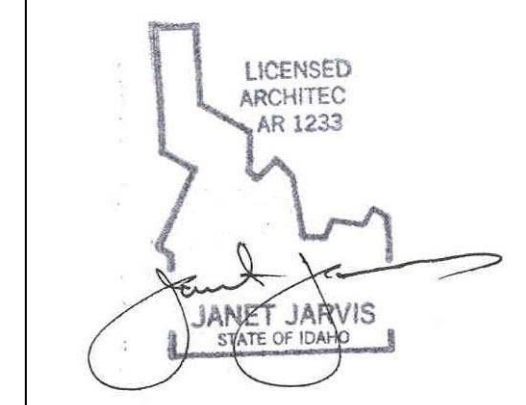
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LEADVILLE TRADING
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IDAHO
KETCHUM

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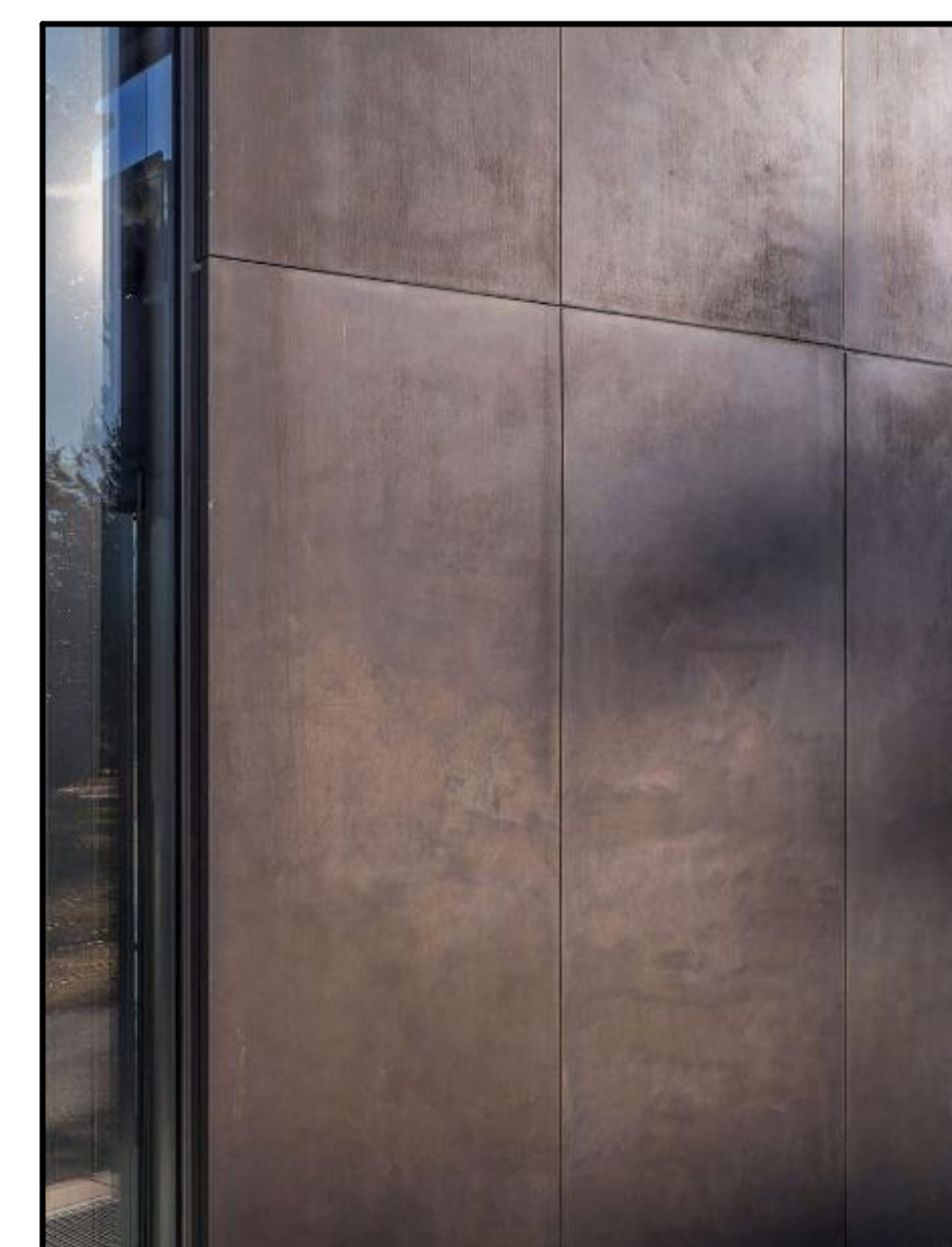
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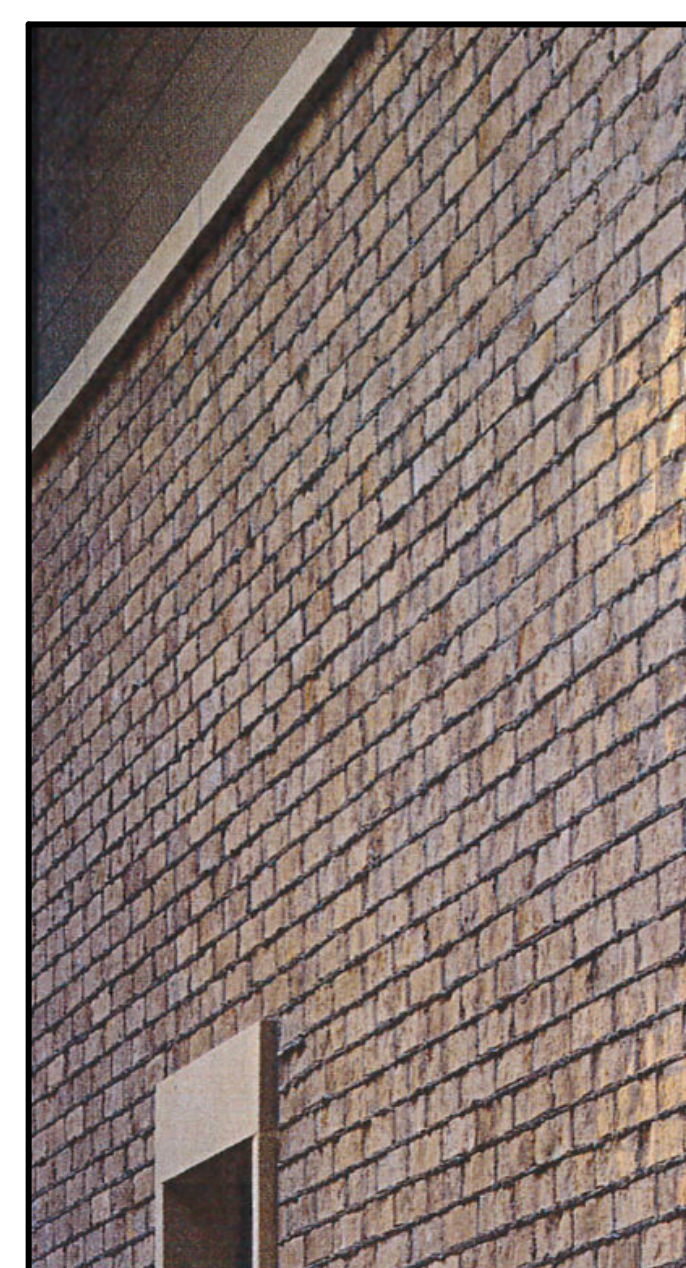
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EXTERIOR METAL
DARK-BRONZE PATINAD METAL.
MINIMAL EXPOSED FASTENING



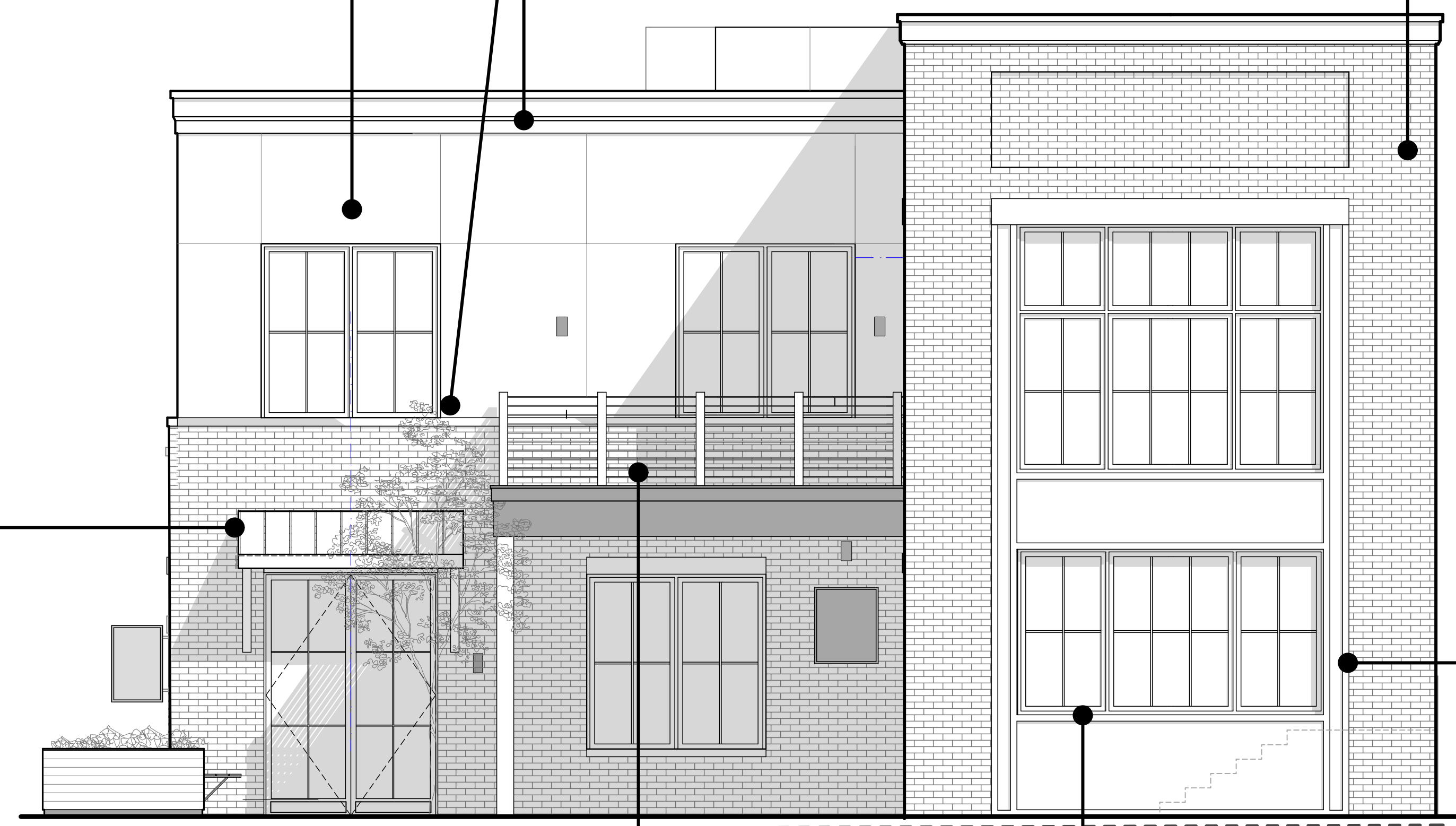
CORRICE AND HEADER DETAILS
CUT LIMESTONE, LIGHT TONED



EXTERIOR BRICK:
RECLAIMED BRICK, EARTH TONES,
GROUT AS SHOWN



EXTERIOR METAL ROOF
BLACK-ZINC MATTE
WESTERN STATES METAL ROOFING



STAIR TOWER WINDOW DETAILING
SEMI-TRANSPARENT DARK STAINED
ARCHITECTURAL CASEWORK



EXTERIOR PAVER
BELGARD CONCRETE PRODUCTS
PLAZA PAVER
12" x 24" x 2 3/8" RUNNING BOND
COLOR: SCANDINA GREY

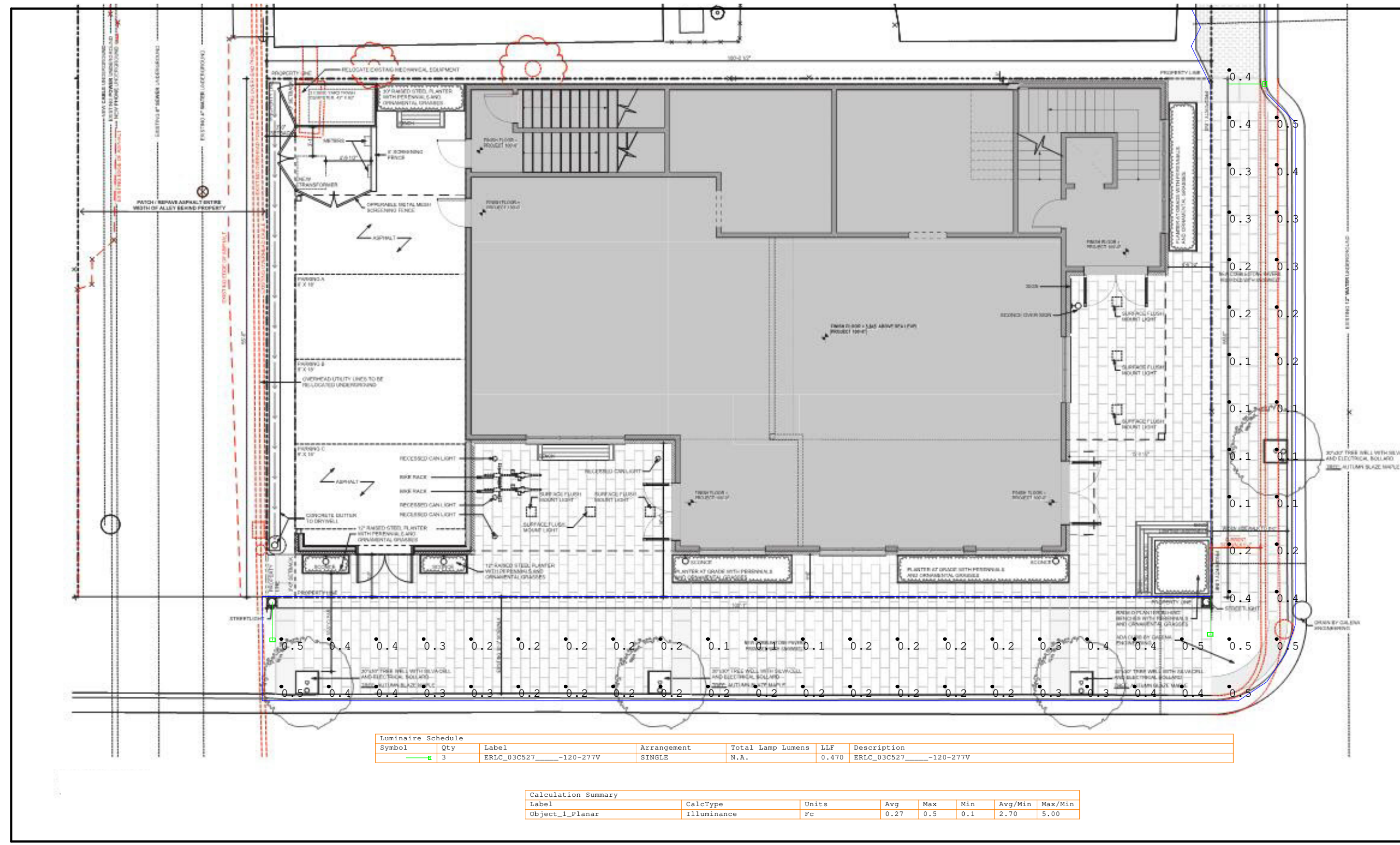


Dimensions Slab
12 x 24 x 2 3/8

GUARDRAILS:
STEEL NEWEL POSTS &
HORIZONTAL STEEL FLAT
BAR WITH DARK BRONZE
FINISH



METAL CLAD WINDOWS AND DOORS:
BURNISHED BLACK OR APPROVED EQUAL



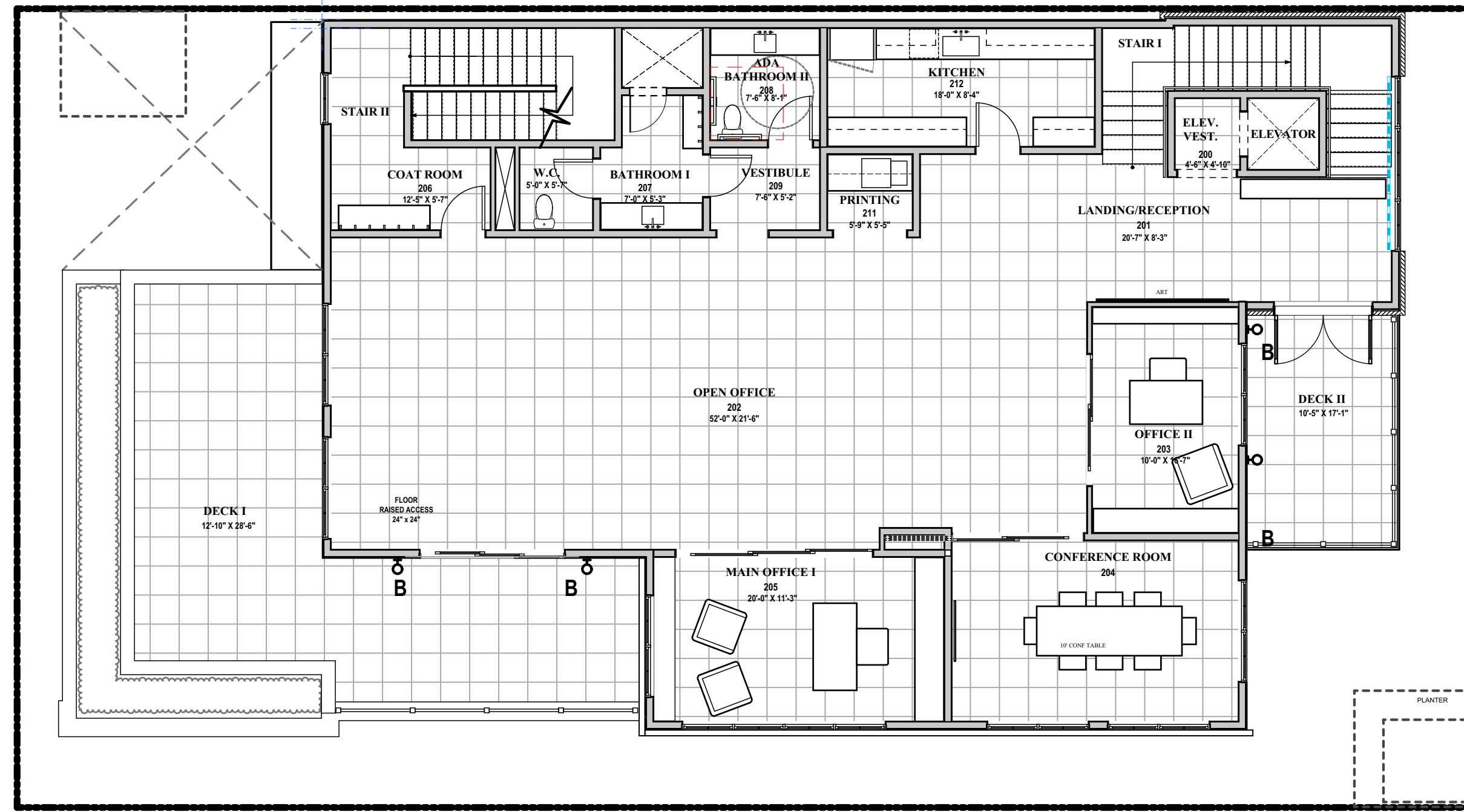
STREELIGHT PHOTOMETRICS
BY: THE MH COMPANY
NOT TO SCALE



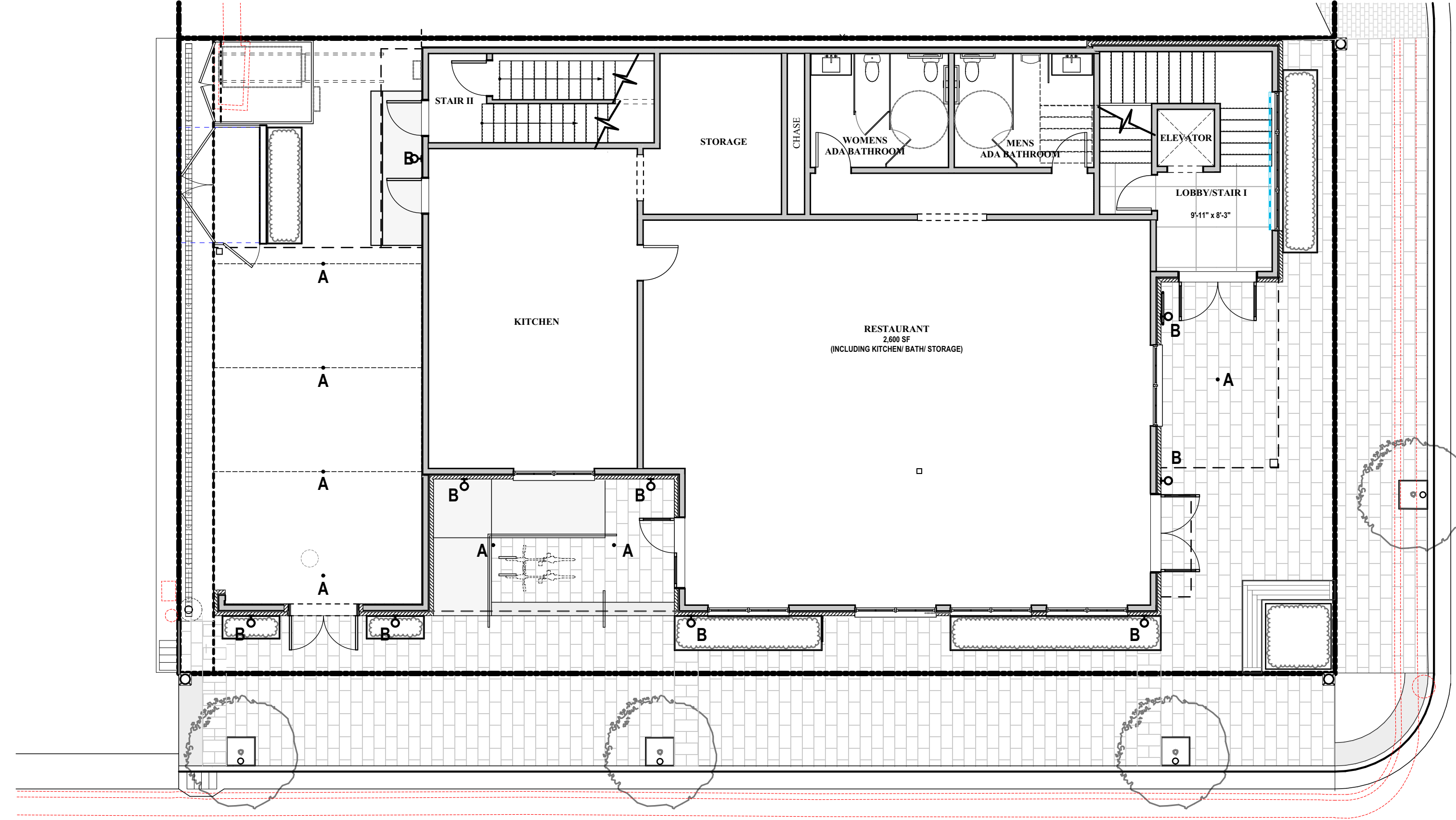
SITE LIGHTING PHOTOMETRICS - FIRST FLOOR
BY: HELIUS LIGHTING
NOT TO SCALE



SITE LIGHTING PHOTOMETRICS - SECOND FLOOR
BY: HELIUS LIGHTING
NOT TO SCALE



1 PLAN: SECOND FLOOR EXTERIOR LIGHTING
SCALE: 1/8" = 1'-0"



2 PLAN: FIRST FLOOR EXTERIOR LIGHTING
SCALE: 1/8" = 1'-0"

TYPE A

Juno
2" IC 600 AND 1000 LUMENS LED ROUND DOWNLIGHT CONE
2LEDTRIM G2 DC

ORDERING INFORMATION (OVER AND TRIM EACH ORDERED SEPARATELY)

Series	Color	Finish	Beam	Temp	Dim
2000V9	3m Round 7" Trim	ES	Downlight 1	100W	100W

TRIM

Series	Color	Finish	Beam	Temp	Dim
2000V9	3m Round 7" Trim	ES	Downlight 1	100W	100W

Category No. Description

- 2000V9 Trim, Construction Mounting Frame with 3m Round 7" Trim
- 2000V9 2" New Construction Housing for 3m Round 7" Trim
- 2000V9 2" LED Strip, No Ceiling Adapter
- 2000V9 2" LED Strip, No Ceiling Adapter for 1" - 1 1/2" Recessed Ceiling
- 2000V9 SP 1" Spot Optic
- 2000V9 MFL 2.4" Recessed Flood Optic
- 2000V9 FFL 4" Flood Optic

TYPE B

BEGA
Wall luminaires with directed light in one direction

Housing: One Piece, die cast aluminum housing with a one piece, die cast aluminum mounting plate. The mounting plate is supplied with a flat plate that mounts directly to a standard, recessed 4" octagonal ceiling box. One ceiling is marine grade, copper free (0.3% copper content) A306 D aluminum alloy.

Endcap: Clear tempered glass offset. Prismatic reflector made of pure anodized aluminum. Housing is secured to the mounting plate with two (2) mechanically captive stainless steel set screws.

Electrical: 7.5W LED luminaire, 10.3 total system watts, 30° beam angle. Integral 120V through 277V electronic LED driver. TRAC, ELM, 0-10V dimming, LED modules are available from factory for easy replacement. Standard LED color temperature is 3000K with an RFL CR. Available in 4000K, 3000K, and 2700K (RFL CR); add suffix RFL to code.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BK), White (WT), Bronze (BR), Silver (SV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

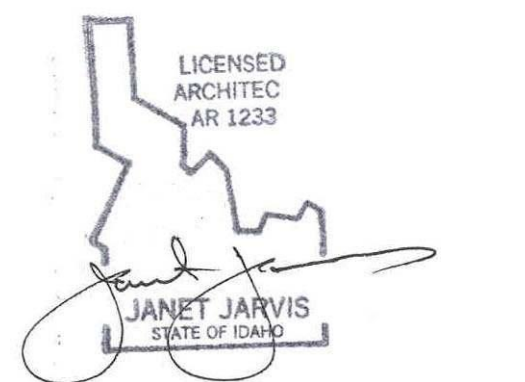
CSA: Certified to U.S. and Canadian standards, suitable for wet locations. Provision code BEGA.

Weight: 5.3 lbs.

Luminaire Lumens: 747

Part #
33-581-K27

BEGA 1000 BEGA Way, Carpinteria, CA 93013 800-864-0033 FAX 800-566-9474 www.bega-us.com
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DATE DESIGN REVIEW 11.22.22

FILE

REVISIONS

NO.	DATE	DESCRIPTION
1	1/9/2023	UPDATED DR
2	1/27/2023	UPDATED DR
3	2/24/2023	UPDATED DR

LEADVILLE TRADING

KETCHUM, IDAHO

JANUARY 2023

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
5. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
6. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
9. THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
11. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
12. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
13. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
14. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
15. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
16. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
18. ALL CONCRETE FORM WORK SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
19. ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
20. TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, INC., 10/21/2021. REFER TO TOPOGRAPHIC MAP FOR NOTES.
21. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



VICINITY MAP
N.T.S.

SHEET INDEX

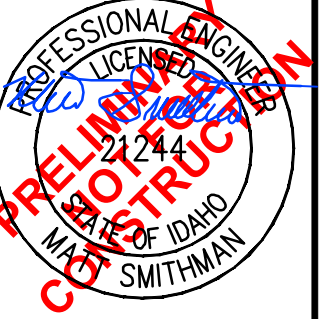
SHEET#	DESCRIPTION
C0.10	COVER SHEET
C1.00	SITE GRADING, DRAINAGE, AND UTILITY PLAN
C2.00	DETAIL SHEET
C2.10	DETAIL SHEET
C2.20	DETAIL SHEET

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

SITE IMPROVEMENT PLAN
LEADVILLE TRADING

LOCATED WITHIN SECTION 18, T.4 N., R. 18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: THE JARVIS GROUP ARCHITECTS, AIA PLLC

PROJECT INFORMATION
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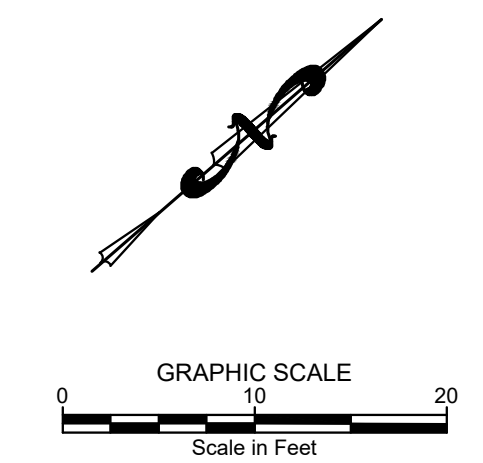
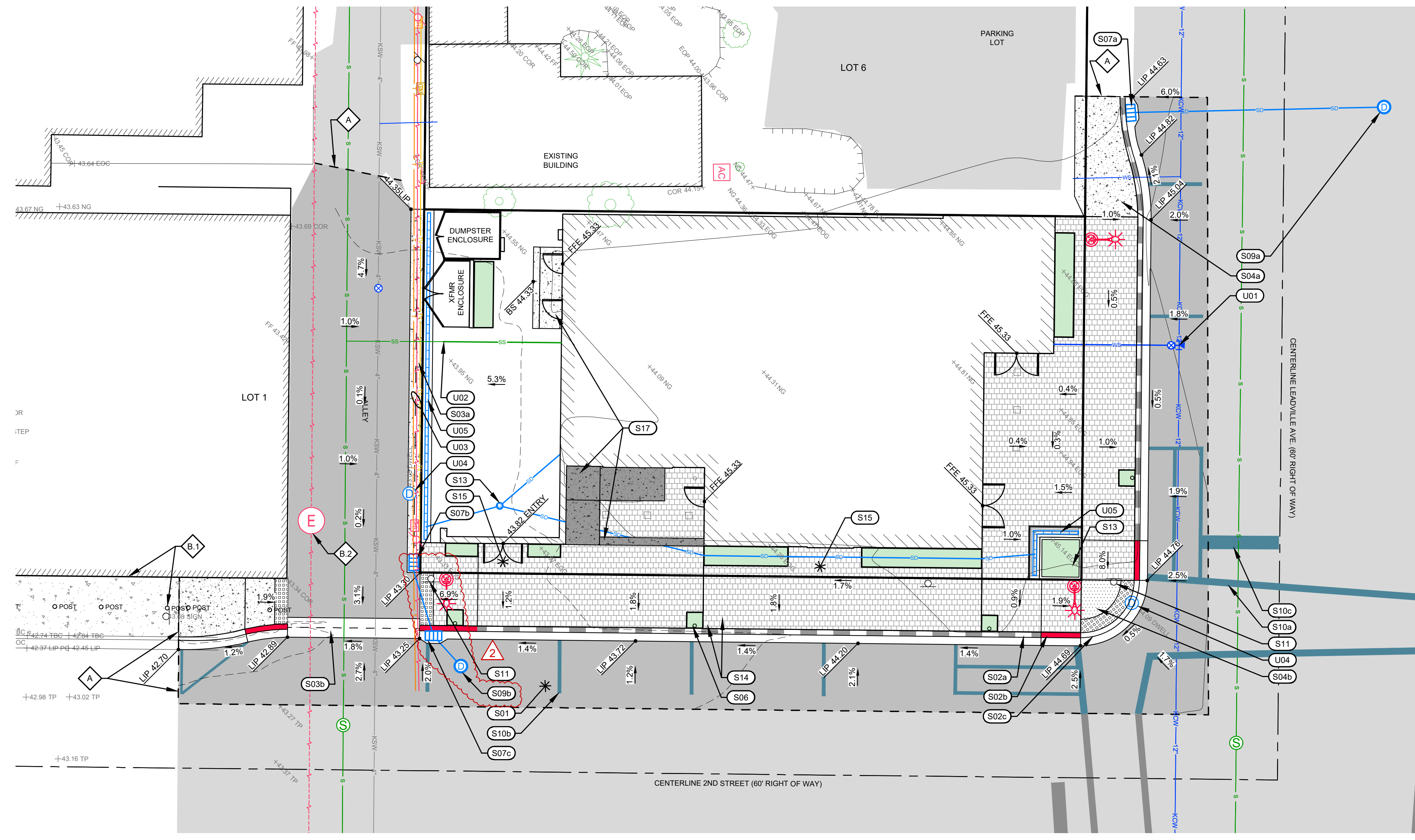
MS DESIGNED BY _____
 MS DRAWN BY _____
 JL CHECKED BY _____

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW		NO.	DATE	BY	REVISIONS
✓	A	01/05/23	MS	Updates Per 12272022 City Engineering Review	

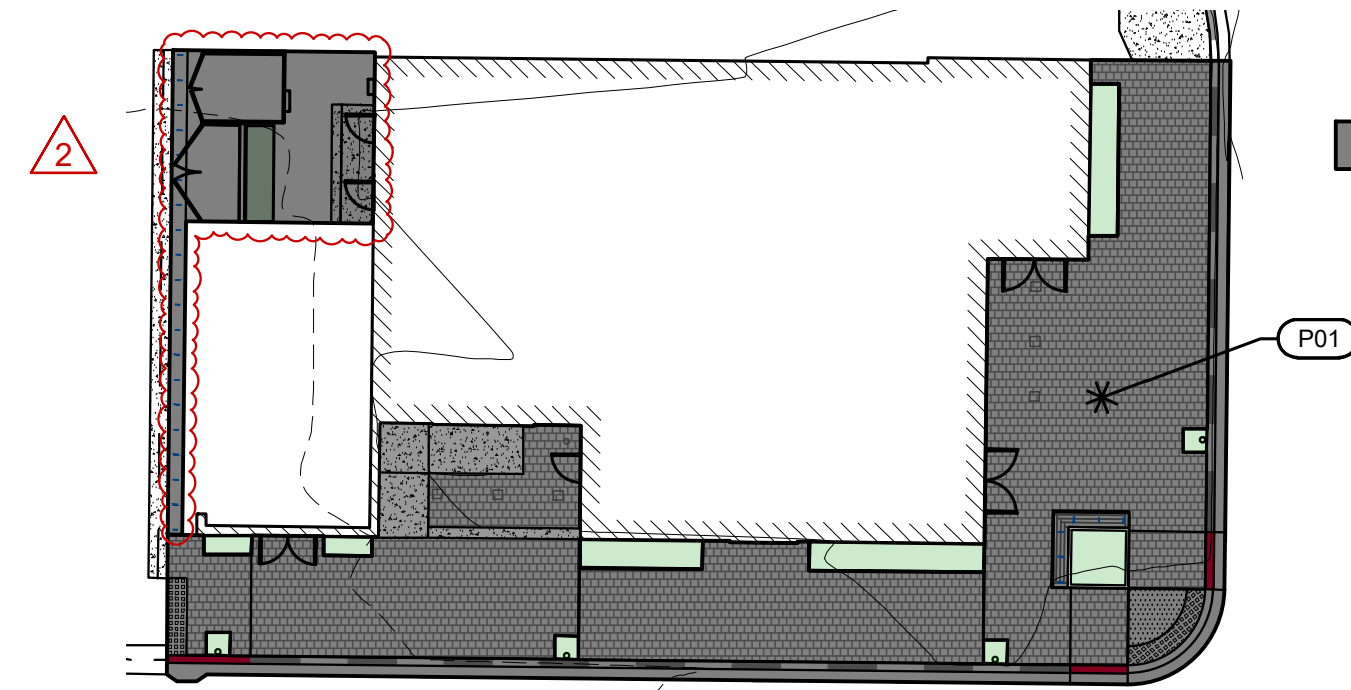
C0.10

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- ### SITE IMPROVEMENT KEY NOTES
- S01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C2.00.
 - S02** CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" ROLLED C&G PER DETAIL 2 / C2.00.
 - b. CURB TRANSITION PER DETAIL 3 / C2.00.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 3 / C2.00.
 - S03** CONSTRUCT CONCRETE VALLEY GUTTER
 - a. 24" WIDE PER DETAIL 4 / C2.00.
 - b. 36" WIDE PER DETAIL 5 / C2.00.
 - S04** CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 6 / C2.00.
 - a. FLAT WORK
 - b. ADA COMPLIANT RAMPS / LANDING.
 - S05** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 9 / C2.00.
 - S06** INSTALL TREE AND TREE WELL AS SHOWN HEREON. SEE DETAIL 4 / C2.10.
 - S07** INSTALL CATCH BASIN WITH MINIMUM SUMP DEPTH OF 12".
 - 30" DIAMETER CATCH BASIN.** SEE DETAIL 2 / C2.10.
 - a. RIM = 5844.57
I.E.(OUT) = 5841.57
 - b. RIM = 5843.08
I.E.(OUT) = 5840.08
 - c. RIM = 5843.16
I.E.(IN) = 5839.88
I.E.(OUT) = 5839.78
 - S08** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C2.20 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 1 / C2.20 FOR TRENCHING.
 - S09** DRYWELLS.
 - a. INSTALL NEW DRYWELL SEE DETAIL 3 / C2.10.
RIM = 5845.69 (APPROX., MATCH EX. ASPHALT)
I.E.(IN) = 5840.81
 - b. INSTALL NEW DRYWELL SEE DETAIL 3 / C2.10.
RIM = 5844.32
I.E.(IN) = 5839.66
 - S10** INSTALL ROAD STRIPING / PAINT
 - a. WHITE CROSSWALK STRIPING (12" WIDE).
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - S11** RELOCATE SIGNS. SEE DETAIL 8 / C2.00 FOR SIGN BASE DETAIL.
 - a. STOP & STREET SIGN
 - b. REGULATORY PARKING
 - S13** INSTALL LANDSCAPE DRYWELL. CONNECT TRENCH DRAINS & ROOF DRAINS TO DRYWELL. SEE DETAIL 5 / C2.10.
 - S14** CONSTRUCT HEATED PAVER SIDEWALK. SEE DETAIL 7 / C2.00 & SNOWMELT SYSTEM LAYOUT PLAN (THIS SHEET) FOR EXTENTS OF SNOWMELT SUBBASE.
 - S15** GRADE TO DRAIN TO PLANTER AREAS.
 - S16** INSTALL STREETLIGHTS. SEE DETAIL 4 / C2.20.
 - S17** REFERENCE ARCHITECTURAL PLANS FOR STEP, STAIR, AND RAMP DETAILS.
- MATCH EXISTING LINES AND GRADES.** COORDINATE WITH PROPERTY OWNER TO DETERMINE EXACT LIMITS OF CONSTRUCTION.
- RETAIN AND PROTECT**
1. EXISTING STRUCTURE
 2. UTILITY STRUCTURE AND RISERS

SNOWMELT SYSTEM LAYOUT PLAN
SCALE: 1" = 20'

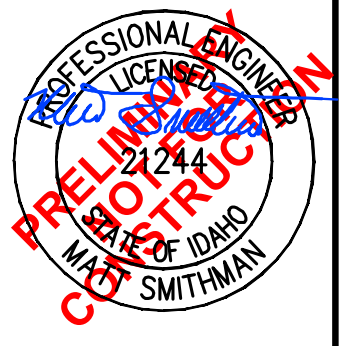


- ### SNOWMELT SYSTEM NOTES
- P01** INSTALL SNOWMELT SUBBASE TO THE EXTENTS SHOWN PER DETAIL 7 / C2.00. HEATED SNOWMELT SUBBASE SHALL EXTEND TO ADJACENT CURB AND GUTTER AS INDICATED. A ROW ENCROACHMENT PERMIT MUST BE OBTAINED PRIOR TO THE CONSTRUCTION OF SNOWMELT SYSTEM WITHIN THE ROW.

- ### UTILITY IMPROVEMENT KEY NOTES
- U01** INSTALL (") WATER SERVICE LINE STAINLESS STEEL TAPPING SADDLE GATE VALVE W/ THRUST BLOCKS SEE DETAILS 1 / C2.20 FOR TRENCHING, & 3 / C2.20 FOR THRUST BLOCKING. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U02** UTILIZE EXISTING 4" SEWER SERVICE. TIE-IN TO EXISTING SERVICE AND INSTALL NEW 4" GRAVITY PVC LINE TO BUILDING.
 - U03** RELOCATE OVERHEAD UTILITIES UNDERGROUND. COORDINATE RELOCATION WITH DRY UTILITY FRANCHISES ACCORDINGLY.
 - U04** ABANDON EXISTING DRYWELLS IN PLACE.
 - U05** INSTALL TRENCH DRAIN. SEE DETAIL 1 / C2.10

- ### ABBREVIATIONS:
- BS = BOTTOM OF STAIR
 - FF = FINISHED FLOOR
 - FEE = FINISHED FLOOR AT ENTRY
 - FG = FINISHED GRADE
 - HP = HIGH POINT
 - I.E. = INVERT ELEVATION
 - LF = LINEAL FEET
 - LIP = LIP OF GUTTER
 - LP = LOW POINT
 - MAX = MAXIMUM
 - MIN = MINIMUM
 - PC = POINT OF CURVATURE
 - PRC = POINT OF REVERSE CURB
 - PT = POINT OF TANGENT
 - TBW = TOP BACK OF WALK
 - TFC = TOP FACE OF CURB
 - TS = TOP OF STAIR
 - TYP = TYPICAL

GRADING, DRAINAGE & UTILITY PLAN
LEADVILLE TRADING
LOCATED WITHIN SECTION 18, T.4 N., R. 18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THE JARVIS GROUP ARCHITECTS, AIA PLLC

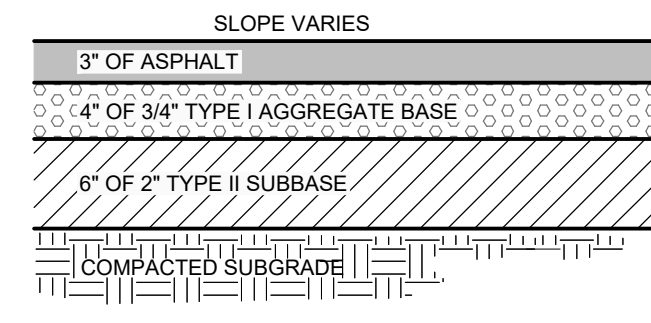


MS DESIGNED BY
MS DRAWN BY
JL CHECKED BY

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

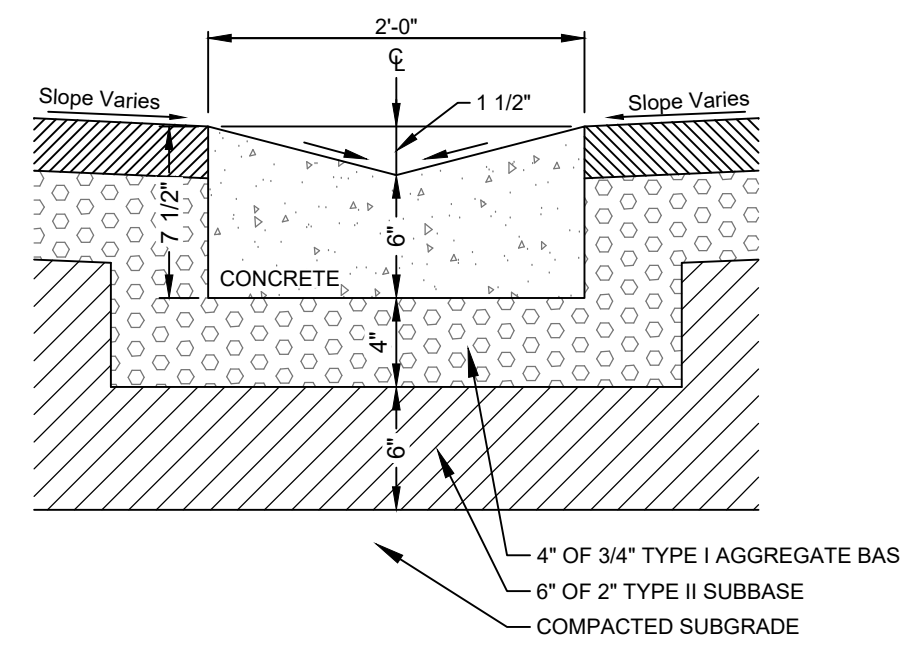
NO.	DATE	BY	REVISIONS
A	07/06/23	MS	Updates Per 12272022 City Review & Architectural Changes
A	07/27/23	MS	Streetlight, Snowmelt & Drainage Modifications

PURPOSE: ISSUE FOR DESIGN REVIEW
C1.00



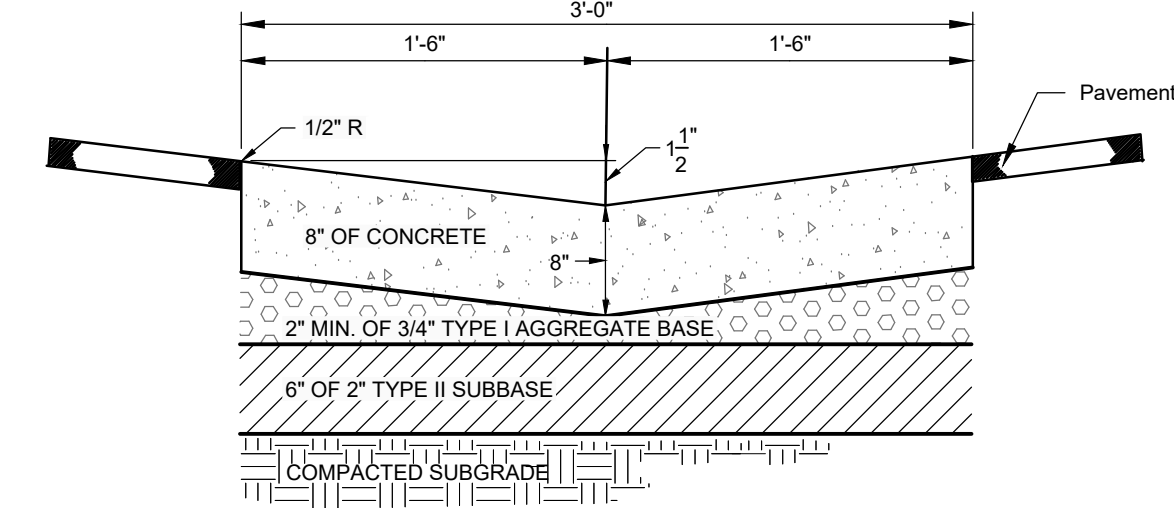
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C2.00 **TYPICAL ASPHALT SECTION**
N.T.S.



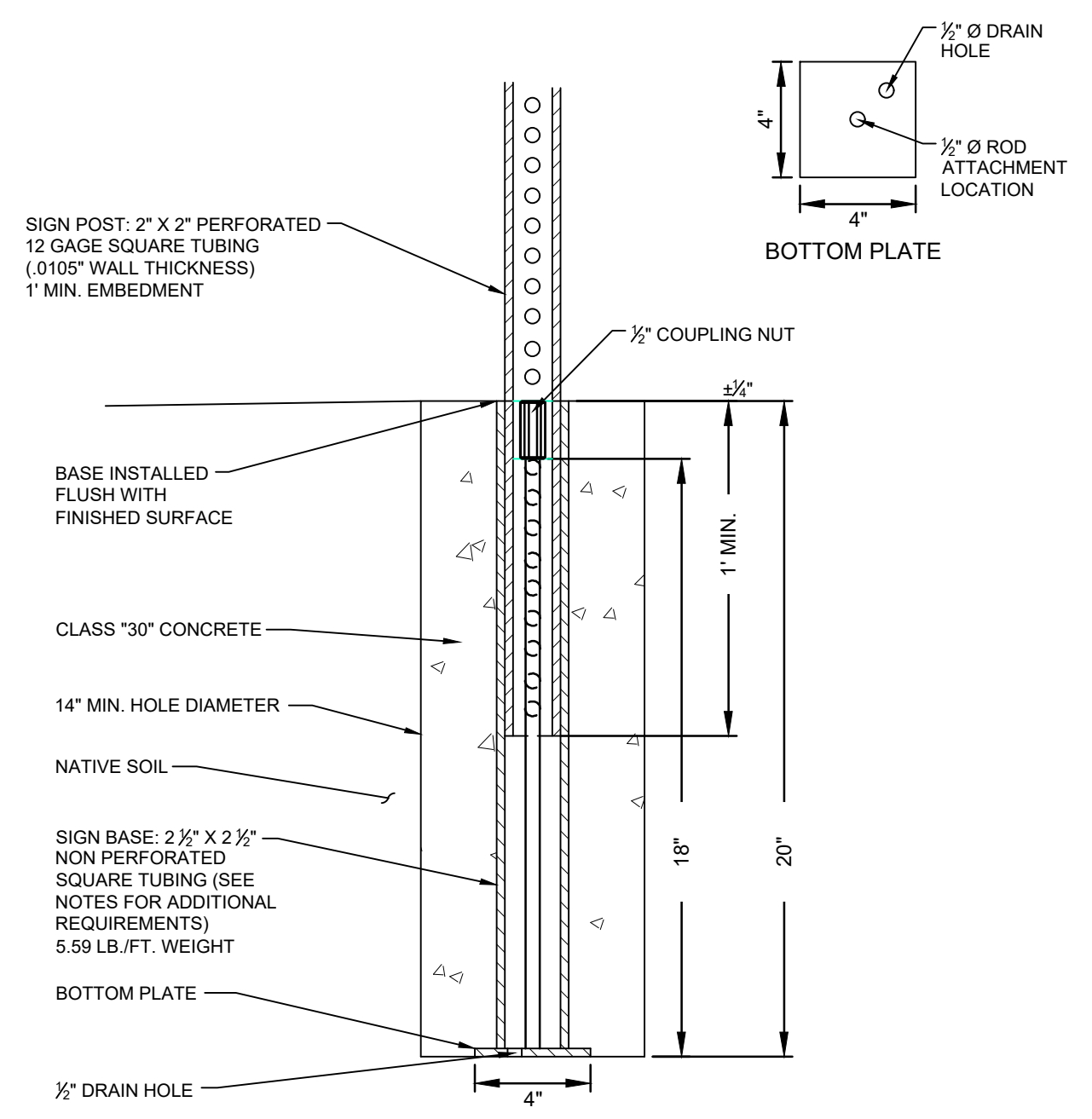
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

4
C2.00 **24" WIDE CONCRETE VALLEY GUTTER**
N.T.S.



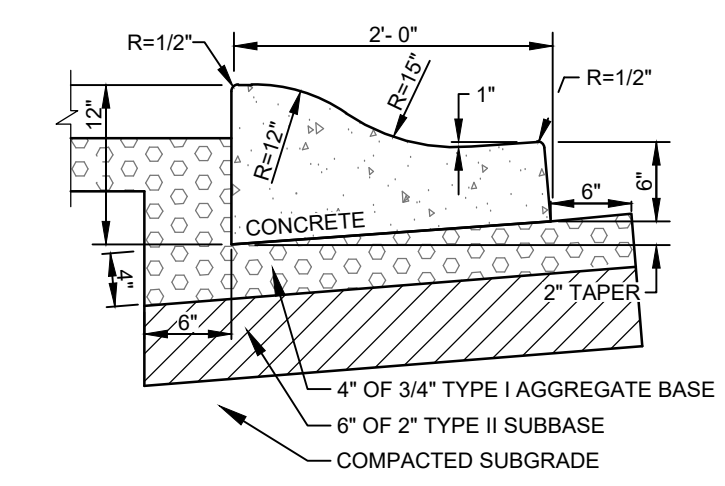
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING.

5
C2.00 **36" CONCRETE VALLEY GUTTER**
N.T.S.



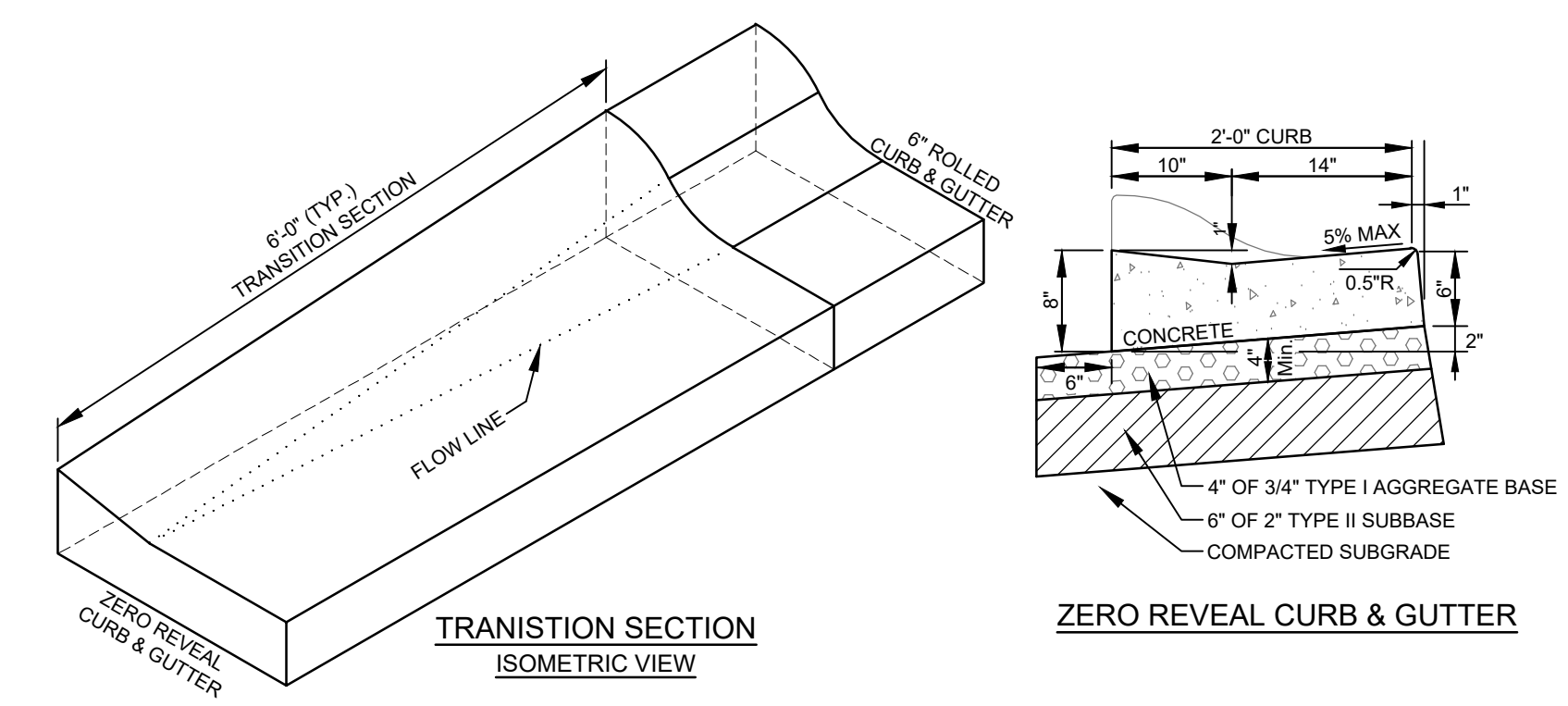
- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.
- SIGN BASE MATERIAL & DIMENSION REQUIREMENTS**
 2 1/2" OUTSIDE TUBE STEEL (20" LENGTH)
 2 1/2" INSIDE TUBE STEEL
 3/16" THICK
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS
 1/2" COLD ROLLED ROD (18" LENGTH)
 1/2" COUPLING NUTS
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS
 4" X 4" X 1/2" STEEL STRAP

8
C2.00 **TYPICAL SIGN BASE**
N.T.S.



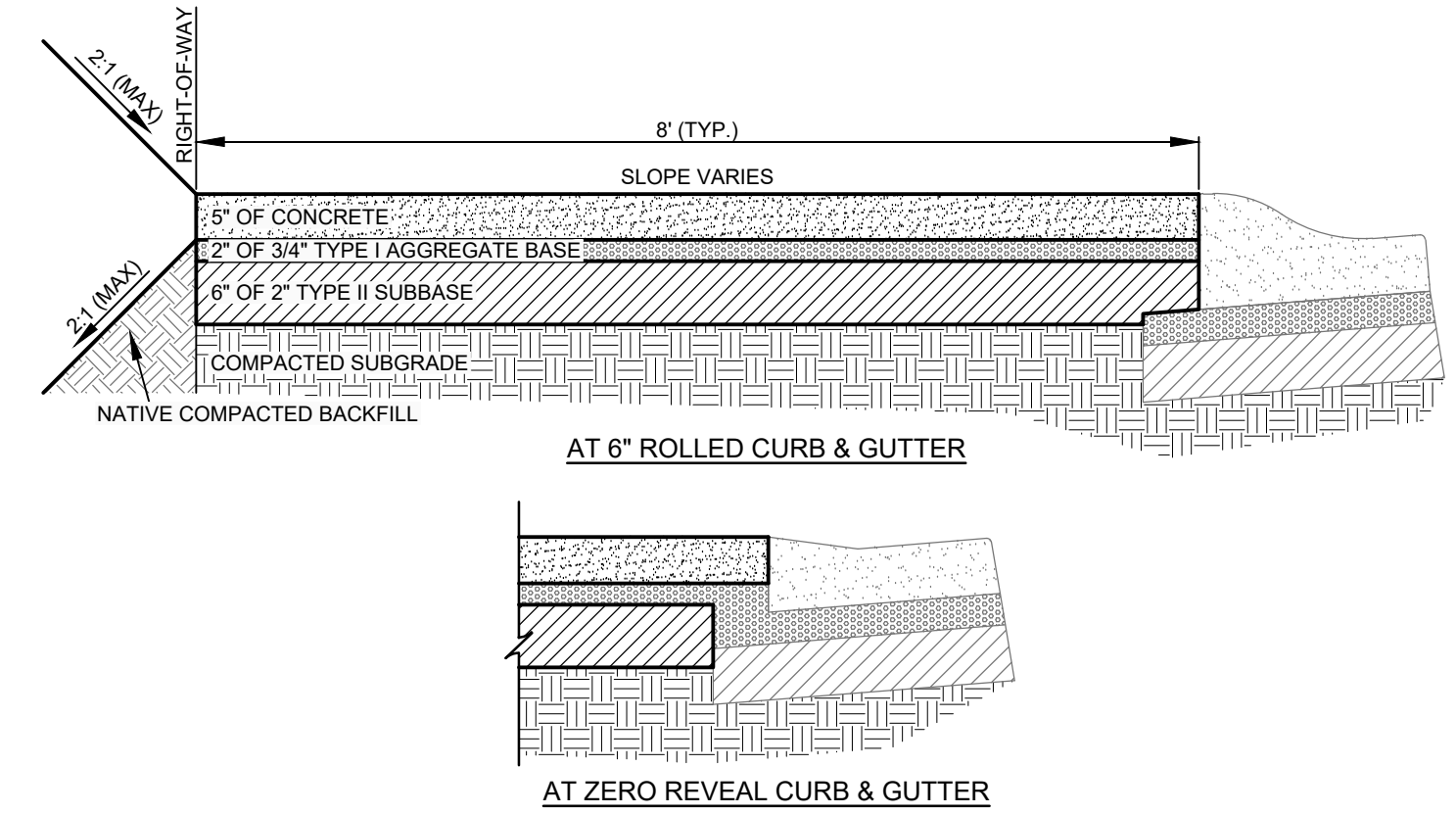
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2
C2.00 **6" CONCRETE ROLLED CURB & GUTTER**
N.T.S.



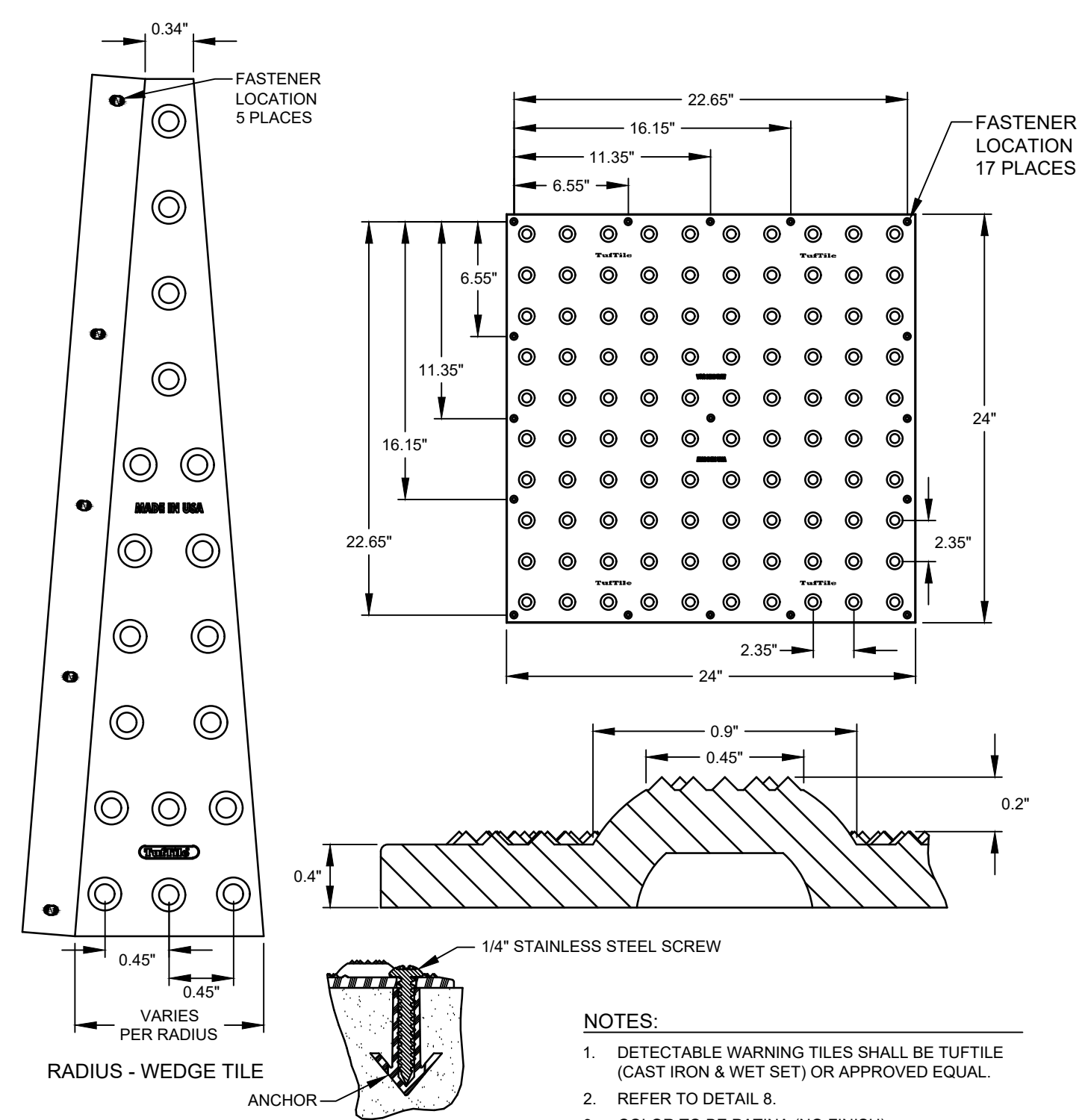
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

3
C2.00 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.



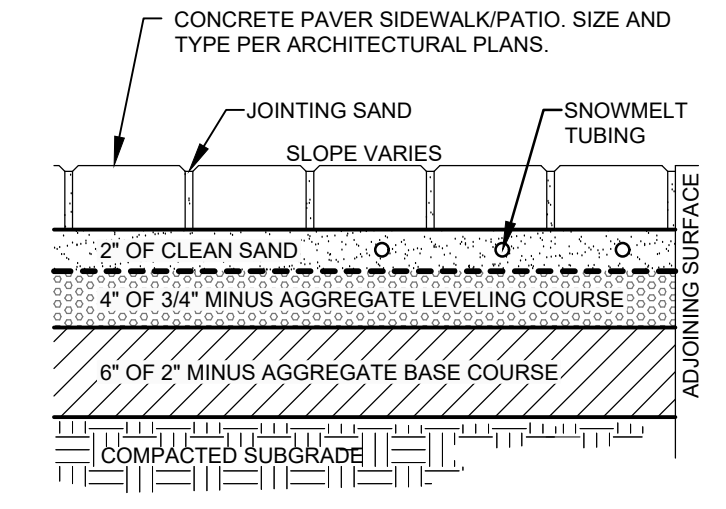
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

6
C2.00 **TYPICAL CONCRETE SIDEWALK SECTION**
N.T.S.



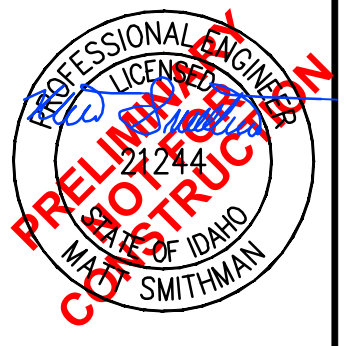
- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTILE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

9
C2.00 **DETECTABLE WARNING PLATE**
N.T.S.



7
C2.00 **HEATED PAVER DETAIL**
N.T.S.

DETAIL SHEET
LEADVILLE TRADING
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: THE JARVIS GROUP ARCHITECTS, AIA PLLC
 PROJECT INFORMATION
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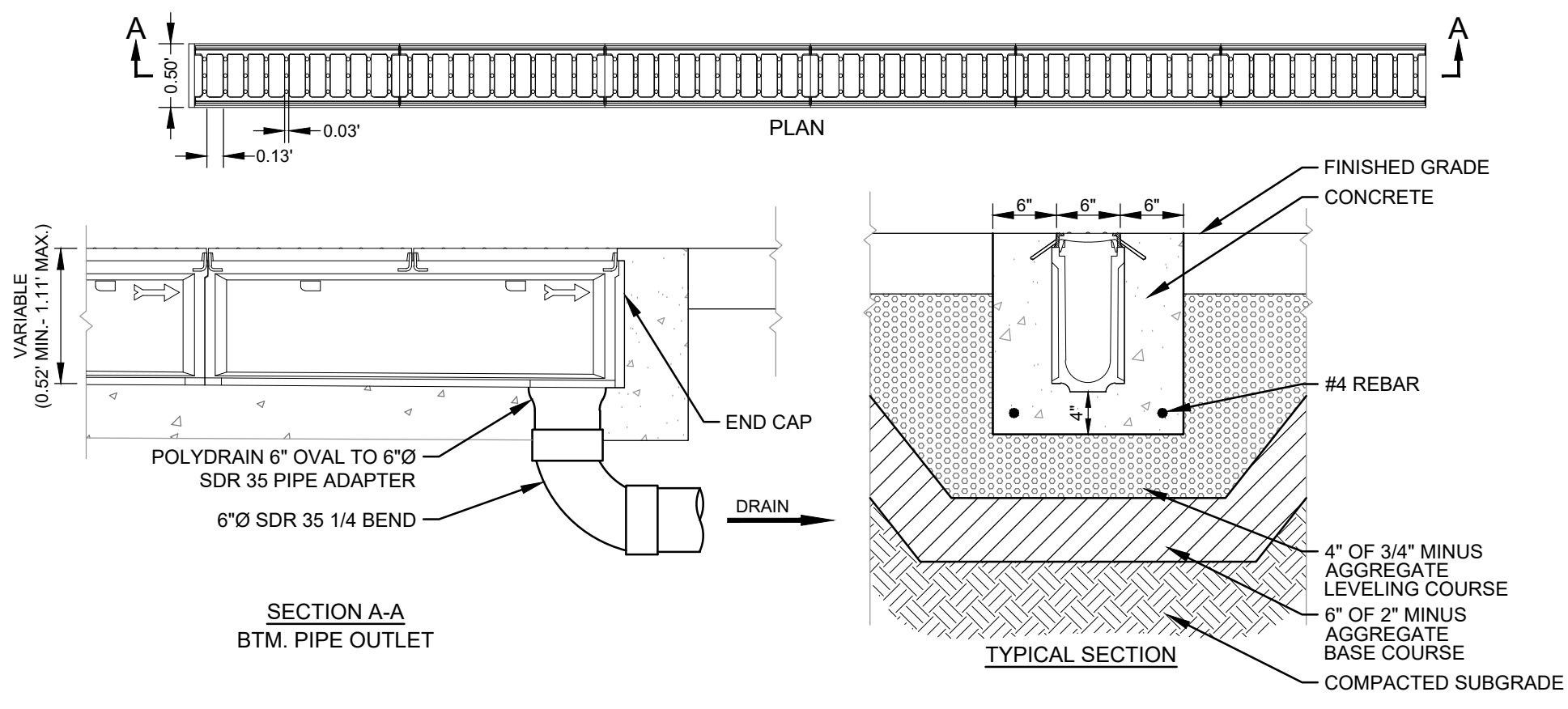
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 MS DRAWN BY
 JL CHECKED BY

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 email: galena@galena-engineering.com
 (208) 788-1705

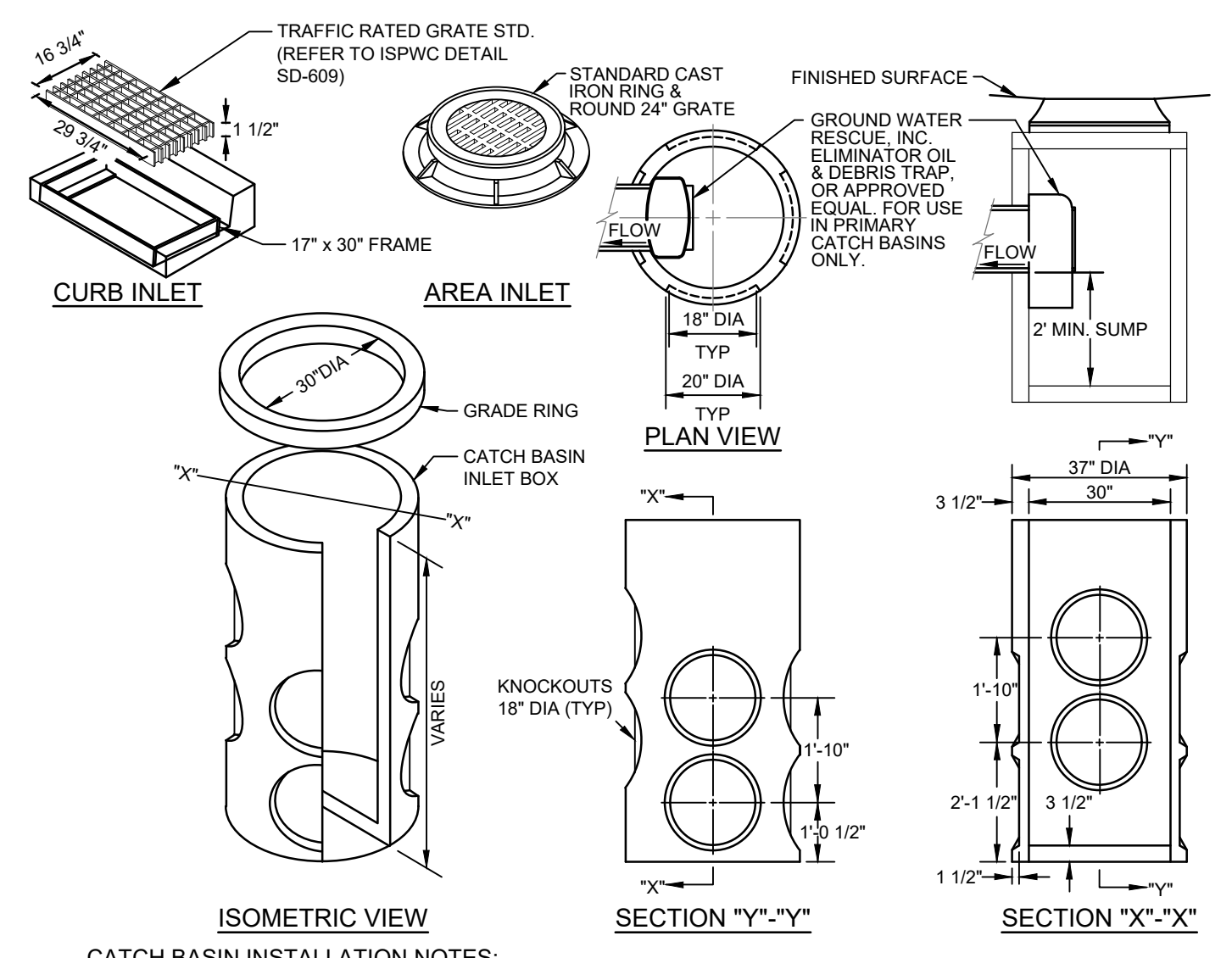
NO.	DATE	BY	REVISIONS
1	01/05/23	MS	Updates Per 12/27/2022 City Engineering Review

C2.00

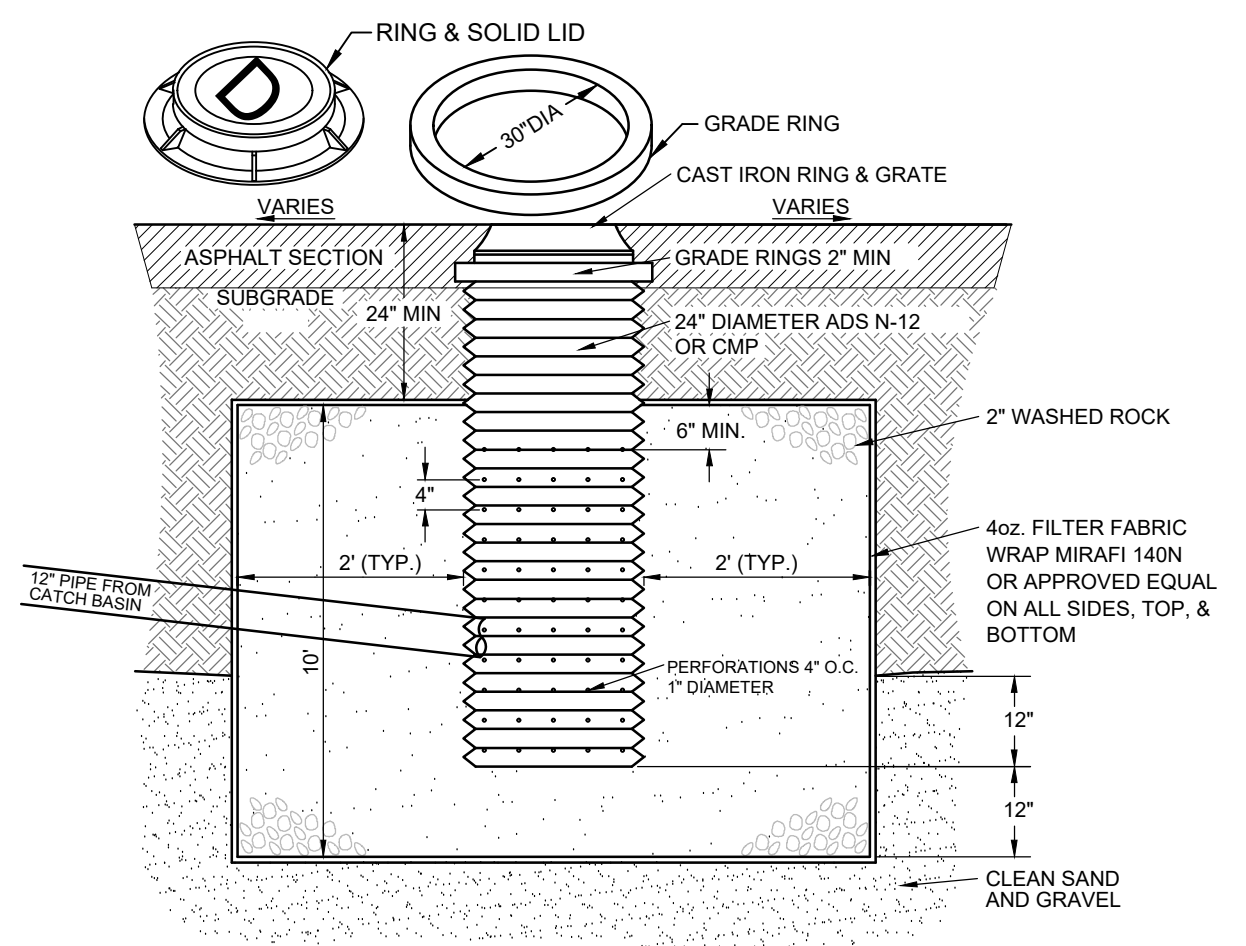
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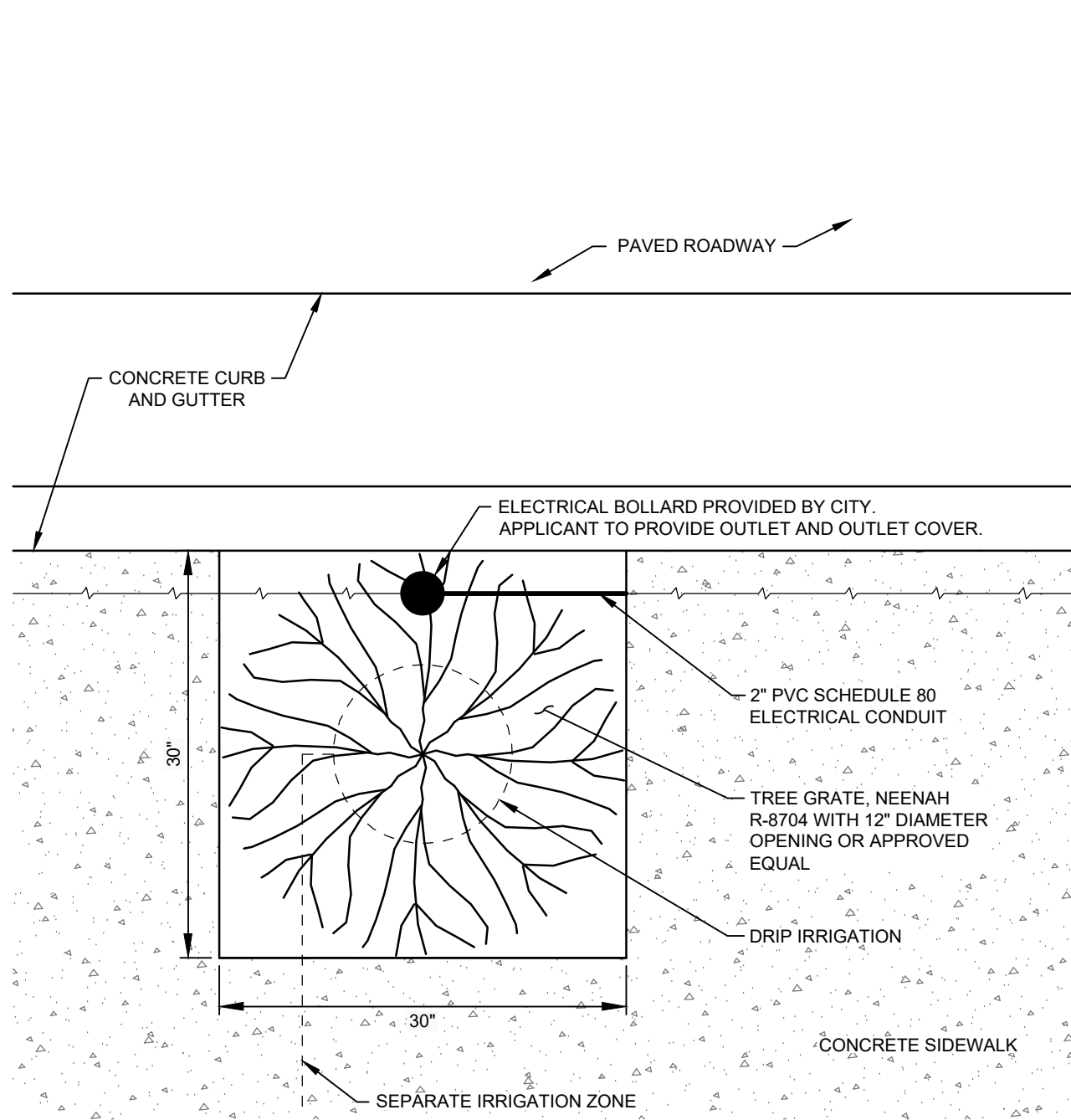
- NOTES:**
1. LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
 2. THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
 3. CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
 4. TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8 IN BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.



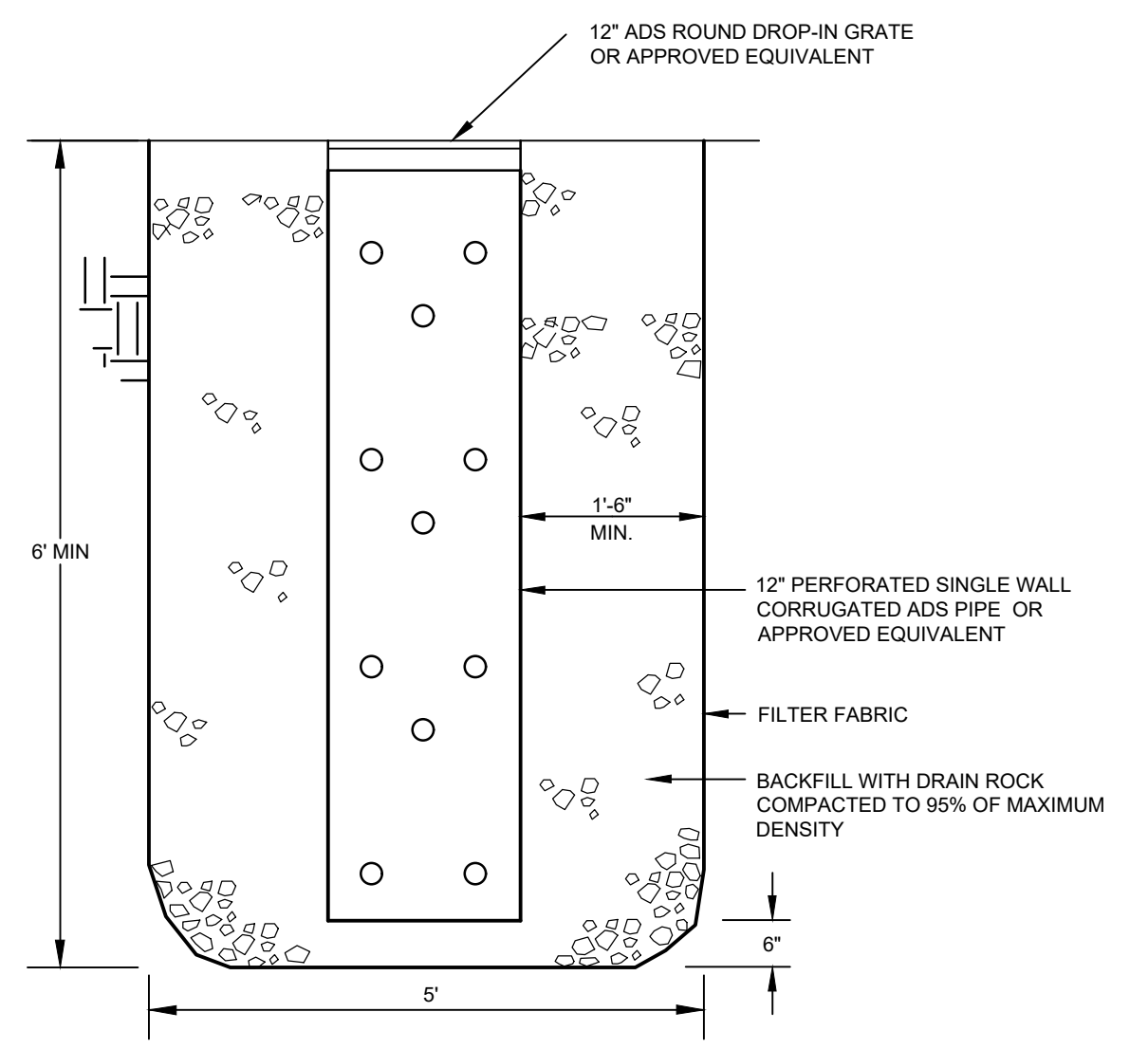
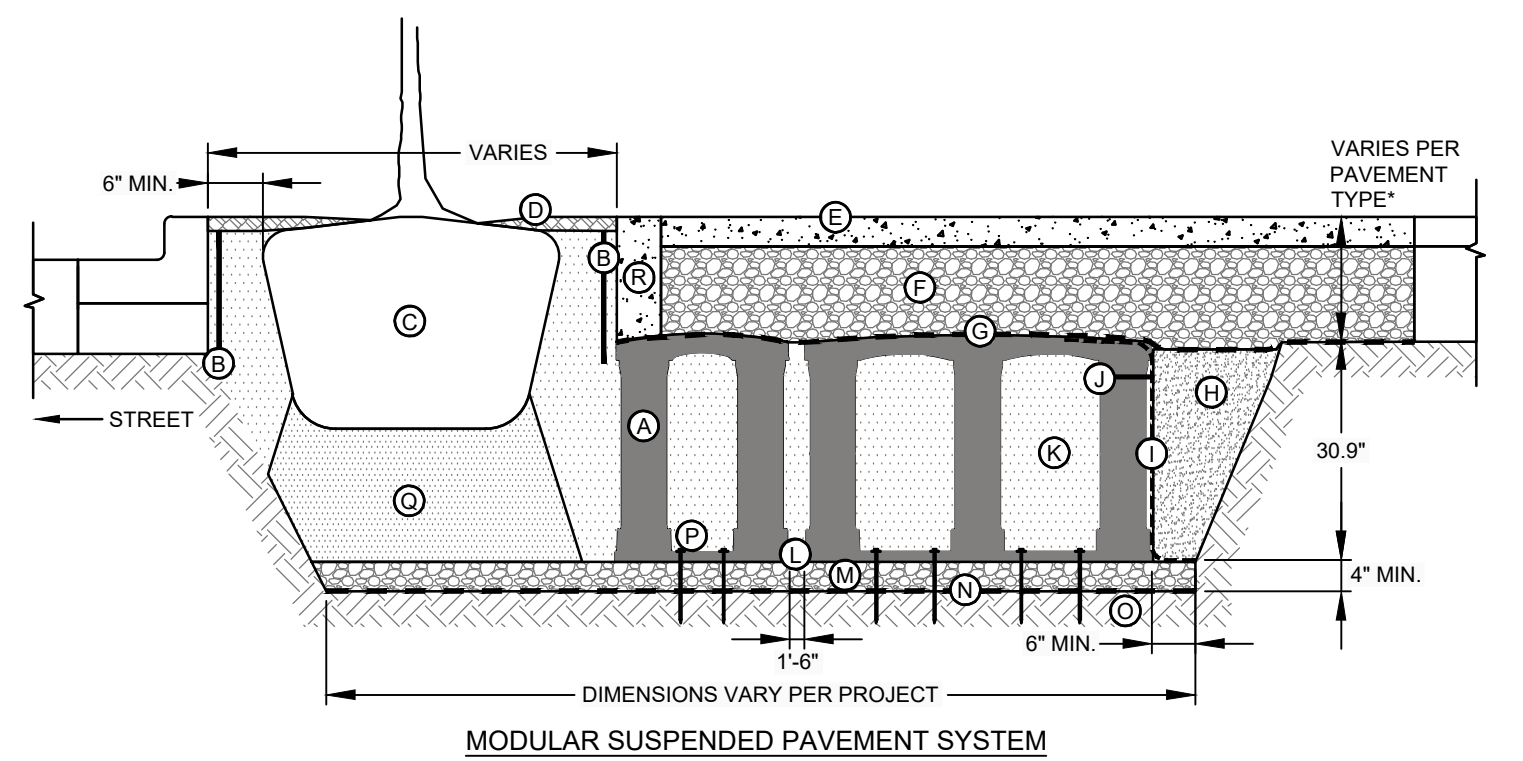
- CATCH BASIN INSTALLATION NOTES:**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 3. PLACE A MINIMUM OF 4\"/>



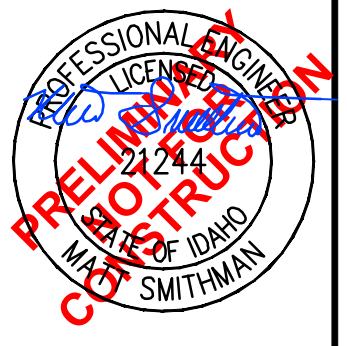
- NOTES:**
1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>



- NOTES:**
1. TREE TO BE 3\"/>



DETAIL SHEET
LEADVILLE TRADING
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: THE JARVIS GROUP ARCHITECTS, AIA PLLC
 PROJECT INFORMATION
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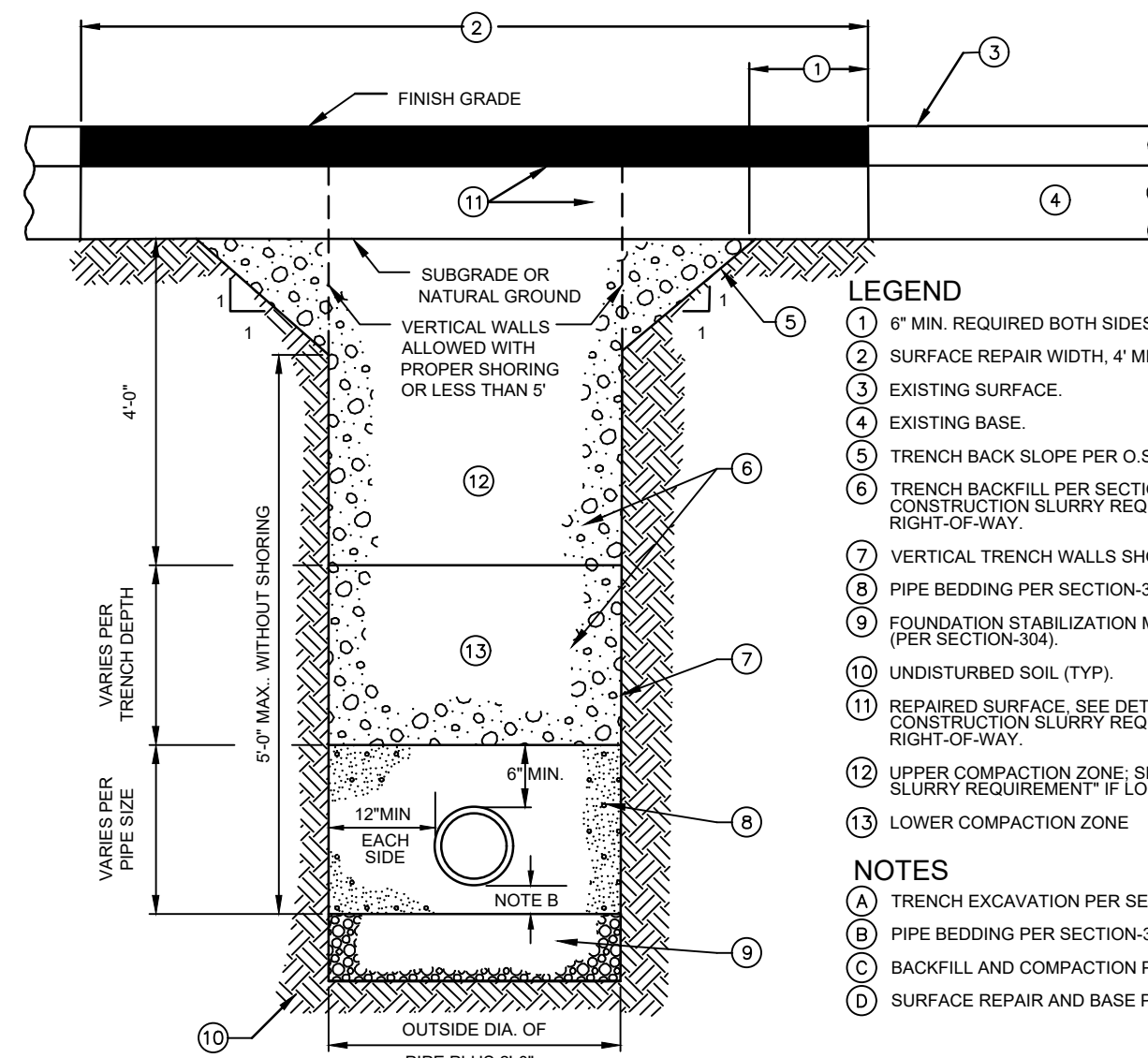
MS DESIGNED BY _____
 MS DRAWN BY _____
 JL CHECKED BY _____

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 788-1705
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS
1	07/05/23	MS	Updates Per 12/27/2022 City Engineering Review

C2.10

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- LEGEND**
- 1 6" MIN. REQUIRED BOTH SIDES. SAWCUT REQUIRED.
 - 2 SURFACE REPAIR WIDTH, 4" MINIMUM.
 - 3 EXISTING SURFACE.
 - 4 TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - 5 TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 6 VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - 7 PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - 8 FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - 9 UNDISTURBED SOIL (TYP).
 - 10 REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 11 UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 12 LOWER COMPACTION ZONE.
- NOTES**
- A TRENCH EXCAVATION PER SECTION-301.
 - B PIPE BEDDING PER SECTION-305.
 - C BACKFILL AND COMPACTION PER SECTION-306.
 - D SURFACE REPAIR AND BASE PER DETAIL 3C20.

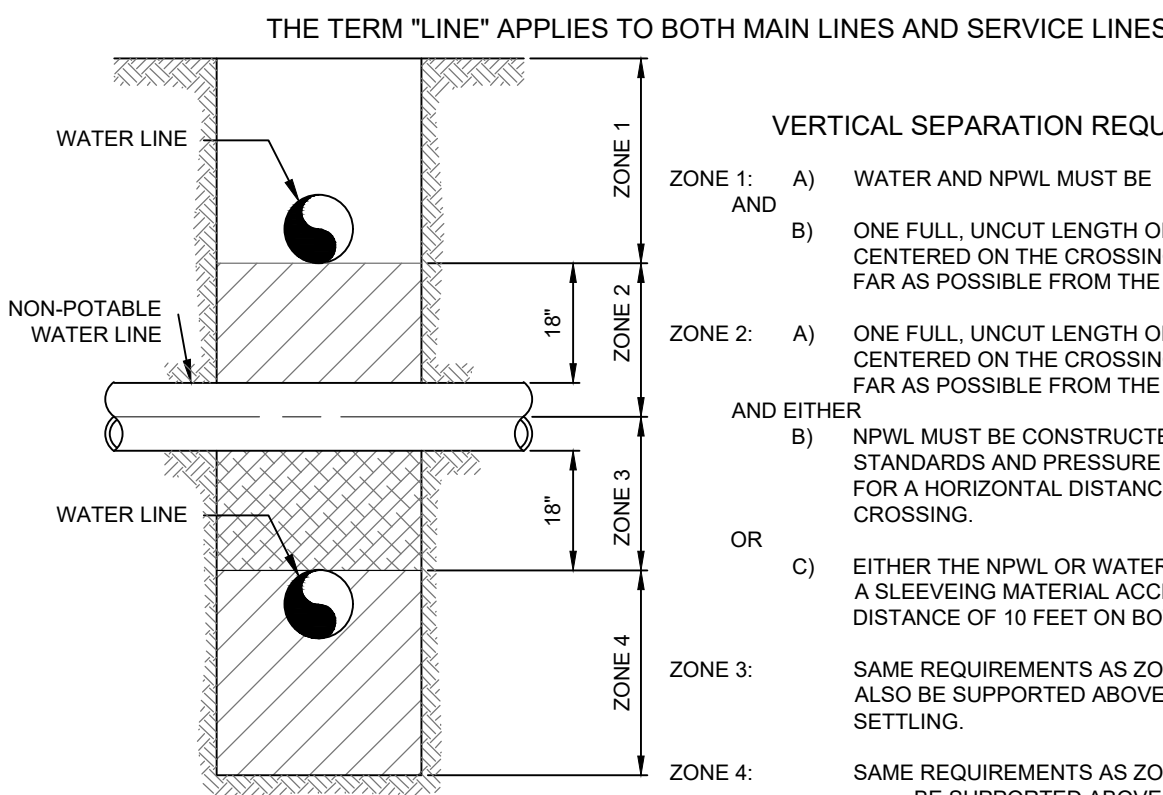
KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL, WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (¾" MINUS)	2,000 LBS.
SAND	800 LBS.
PORTLAND CEMENT	94 LBS.
WATER	11 GAL. (MAX.)

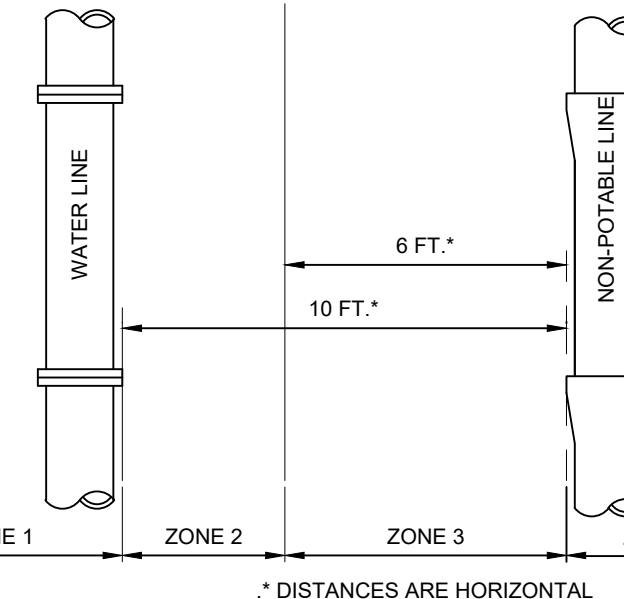
WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

1
C2.20 TYPICAL TRENCH SECTION
N.T.S.



- VERTICAL SEPARATION REQUIREMENTS**
- THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

2
C2.20 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.

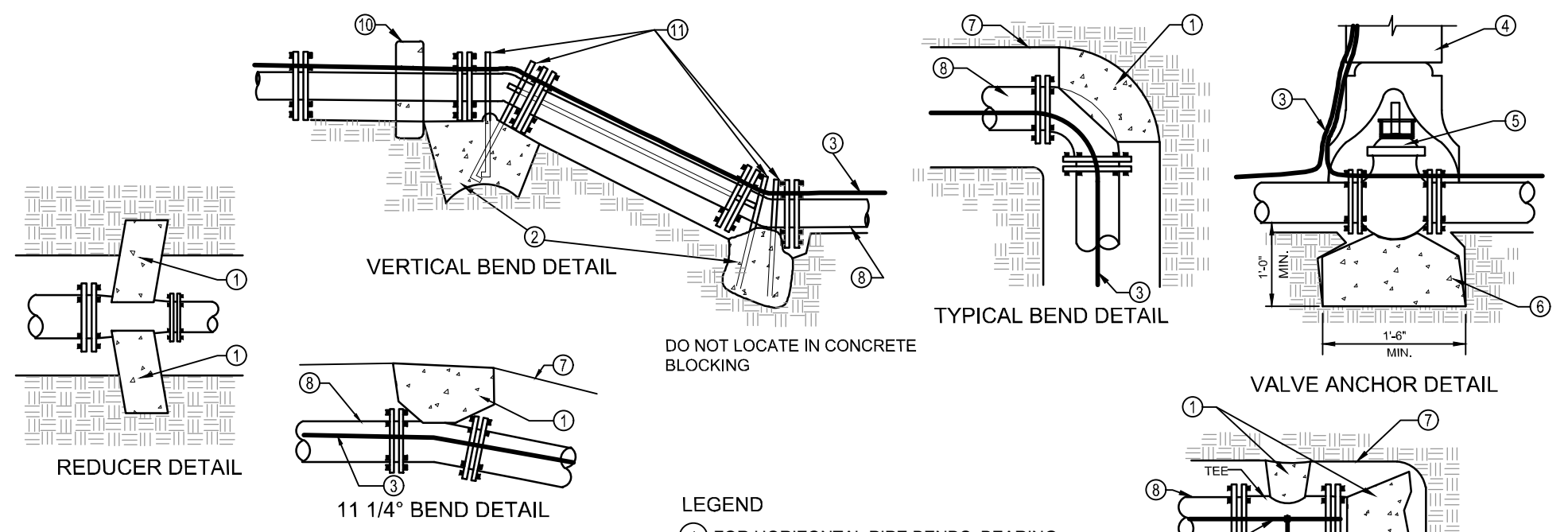


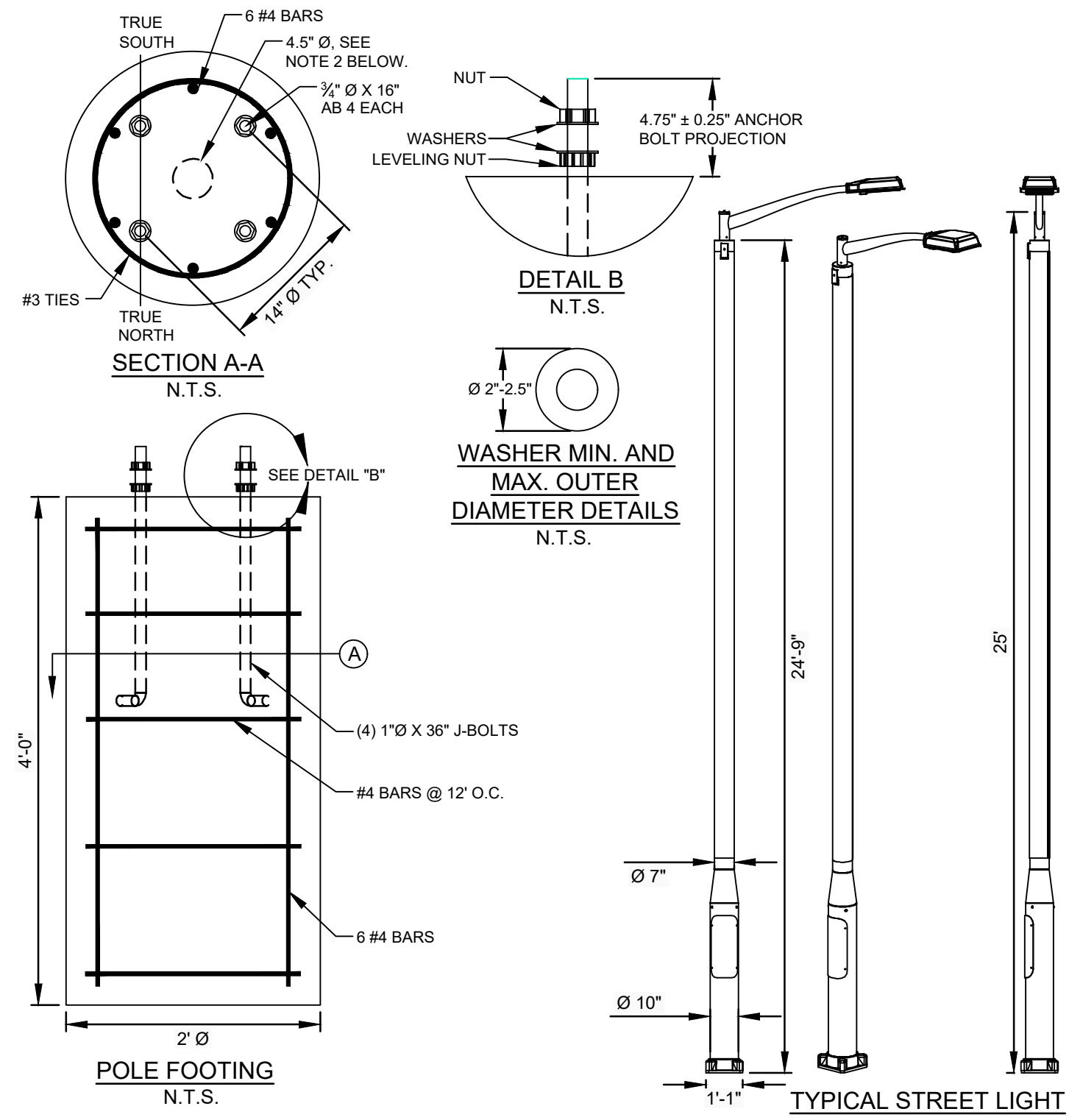
TABLE 1
THRUST AREA FOR HORIZONTAL BENDS**

PIPE SIZE	MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH*			
	TEE, PLUG OF VALVE	90° BEND	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.8	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

- LEGEND**
- 1 FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
 - 2 FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
 - 3 NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPlicing.
 - 4 C.I. VALVE BOX WITH COVER.
 - 5 C.I. GATE VALVE (M.J.).
 - 6 PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2"Ø MIN REBAR.
 - 7 TRENCH SIDE.
 - 8 PIPE.
 - 9 PLUG.
 - 10 HAMMERHEAD THRUST BLOCKING.
 - 11 ANCHOR BARS (1/2"Ø MIN)

* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
 ** OR TEE ACTING AS A 90° BEND.
 ***THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

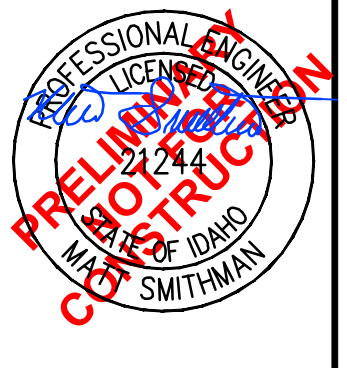
3
C2.20 THRUST BLOCK AND ANCHOR DETAILS
N.T.S.



- NOTES:**
1. STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
 2. ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE AND AC SUPPLY WIRE (IF REQUIRED) ARE 5" MIN. ABOVE THE BASE.
 3. ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
 4. GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
 5. STREET LIGHT SHALL BE 25' IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

4
C2.20 TYPICAL STREET LIGHT
N.T.S.

DETAIL SHEET
LEADVILLE TRADING
 LOCATED WITHIN SECTION 18, T.4 N., R. 18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: THE JARVIS GROUP ARCHITECTS, AIA PLLC
 PROJECT INFORMATION
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MS DESIGNED BY
 MS DRAWN BY
 JL CHECKED BY

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS
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City of Ketchum

Attachment C: Zoning and Dimensional Standards Analysis

PROJECT NAME: Leadville Trading
DESIGN REVIEW FILE NUMBER: P22-066
ADDRESS: RPK00000030050
ZONE DISTRICT: CC-2

Zoning and Dimensional Standards Analysis				
Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Staff Comments	<p>Permitted: 5,500 square feet</p> <p>Proposed: 5,504 square feet per site survey dated 6/18/2020</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	FAR or Lot Coverage
			Staff Comments	<p>Permitted FAR: 1.0</p> <p>Permitted FAR with Community Housing: 2.25</p> <p>Floor Area, Gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation.</p> <p>Proposed: Gross Square Footage – 6,039 SF (Per Sheet A0.0) Total Lot Area – 5,504 SF FAR – 1.1</p> <p>Community Housing Mitigation Calculation: Permitted Gross Square Feet (1.0 FAR): 5,504 SF Proposed Gross Square Feet: 6,039 SF</p>

				<p>Increase Above Permitted FAR: 535 SF 20% of Increase: 107 SF Net Livable (15% Reduction): 91 SF *The applicant is proposing to pay the fee-in-lieu for a total of \$40,950</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Minimum Building Setbacks</p> <p>Staff Comments</p> <p>Permitted: Front (N Leadville Ave/east): 5 feet average Side (Interior/north): 0 feet Side (Street Side/south): 5 feet average as this frontage is considered “street side” Rear (Alley/west): 3 feet</p> <p>The calculated the average setback for front and street sides, the length of the façade at each level is measured and multiplied by five to determine the minimum required square footage of setback for the façade at that level. To calculate compliance with the minimum requirement, the total square footage of proposed setback for the same facade is measured.</p> <p>0 feet - Cantilevered decks and overhangs</p> <p>10 feet - Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof from all building facades for all projects except for projects where 100% of the residential units are community or workforce housing.</p> <p>Proposed: Per sheet A1.2, the setbacks are as follows. Front (N Leadville Ave/west): 10 feet 7 inches Side (Interior/north): 0 feet Side (Street Side/south): 5 feet Rear (Alley/east): 3 feet</p> <p>There is a cantilevered deck on the Leadville Ave side that is set back 4.5 feet from the property line. As shown on Sheet A2.3 there are no non-habitable structures, fixed amenities, or solar proposed on the roof.</p>

				Sheet A2.3 shows two areas for the placement of mechanical equipment that does not conform to the setback requirements. Staff recommends a condition of approval that requires the rooftop mechanical systems be revised to meet the code required 10 foot setback from all building facades. This will be required for review and approval prior to building permit issuance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Building Height</p> <p>Staff Comments</p> <p>Permitted: 42 feet</p> <p>Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).</p> <p>Cantilevered decks and overhangs: 8 feet above walking surface Non-habitable structures located on building roof tops: 10 feet max Perimeter walls enclosing roof top deck and structures: 4 feet above roof surface height Roof top solar and mechanical equipment above roof surface: 5 feet</p> <p>Proposed:</p> <p>As shown on Sheets A3.0 and A3.1, the total building height in the rear (alley) is 30 feet. The total building height in the front (Leadville side) is 32 feet.</p> <p>Cantilevered decks and overhangs: The cantilevered deck on the Leadville Ave side is 10.5 feet from the walking surface. Non-habitable structures located on building roof tops: n/a – there are no structures on building rooftops proposed for the project. Perimeter walls enclosing roof top deck and structures: n/a - there are no roof top deck or structures</p>

				Roof top solar and mechanical equipment above roof surface: The mechanical equipment proposed on the roof is surrounded by a metal screen with a total height of 5 feet from the roof surface.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H	<p>Curb Cut</p> <p>Staff Comments</p> <p>Permitted: A maximum of thirty five percent (35%) of the linear footage of any street frontage may be devoted to access off street parking.</p> <p>Proposed: The subject property has two street frontages, one along N Leadville Ave and the other along 2nd Street. All access to proposed off street parking is being accessed from an alley and therefore no street frontage is devoted to access off street parking.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p>Parking Spaces</p> <p>Staff Comments</p> <p>Permitted: Restaurant spaces are exempt from parking requirements in the Community Core. Up to 5,500 square feet of office space is exempt from parking in the CC.</p> <p>The project proposes a total of 1 restaurant space on the ground flood and one office suite on the second floor: Total SF of restaurant – 2,600 (exempt) Total SF of office – 2,575 SF (exempt)</p> <p>A total of 0 off-street parking spaces are required for the project.</p> <p>Bicycle parking: zero required</p> <p>Proposed: The project proposes 3 off-street parking spaces and has submitted a Conditional Use Permit application to allow for the creation of more parking than is required by code per Interim Ordinance 1234. One bicycle rack is proposed on 2nd Street which accommodate a total of 2 bicycles.</p>

CONFORMANCE WITH INTERIM ORDINANCE 1234

The application is subject to the requirements of Interim Ordinance 1234 as the application was filed after the effective date. Below is a review of the project's conformance with the requirements.

- **Minimum Residential Densities (Section 4):** The application is subject to the minimum density requirements as the development exceeds the base permitted FAR of 1.0:
 - The proposed development has a gross floor area of 6,039 SF with 5,166 SF of restaurant and office space. This equates to 86% of the development dedicated to commercial space.
 - Based on the percent of commercial space, the development is not required to provide residential dwelling units.
- **Consolidation of Lots (Section 5):** The applicant is not requesting a consolidation of lots therefore these requirements do not apply.
- **No Net Loss of Units (Section 6):** The subject property is currently vacant, therefore this criterion does not apply.
- **Parking for Retail (Section 7):** The proposed development does not include any retail space, therefore this provision does not apply.
- **Parking for Office (Section 8):** The proposed development proposes a total of 2,575 SF of office space, which is less than the 5,500 SF threshold for parking requirements. This development benefits from this provision, however, a conditional use permit is requested to provide three on-site parking spaces for the office.
- **Development Standards within the CC-2 (Section 11):**
 - **% of gross floor area for commercial (Section 11.a)** – the development is not mixed-use and therefore this requirement does not apply. As point of reference, 78% of the ground floor is commercial with the remaining areas dedicated to circulation/common areas.
 - **Community Housing in basement (Section 11.B)** – the proposed development does not propose on-site community housing; therefore, this standard is not applicable.
 - **Size of residential units (Section 11.C)** – The proposed development does not include any residential therefore this requirement does not apply.
 - **Parking Maximums (Section 11.D)** – The applicant is proposing three parking spaces above and beyond what is required. A conditional use permit application has been filed, per Section 12 of the interim ordinance, to permit the additional parking spaces.
- **Comprehensive Plan Conformance (Section 13):**

- Staff provided feedback in the staff report as to the proposed uses and placement of those uses within the project. Staff believes that the project does conform with the goals and objectives of the comprehensive plan.



City of Ketchum

Attachment D: Design Review Standards Analysis

211 LEADVILLE - DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES
<p>Finding: The development is at the corner of N Leadville Ave and 2nd Street, two existing public rights-of-way. The development proposes to bring both rights-of-way up to city standards by replacing the existing nonconforming sidewalks, provide curb and gutter, and improve the alley to meet standards and provide for adequate drainage. The development proposes walkways the full length of the building from the property line to ensure direct pedestrian access from all building entrances to the sidewalks. All improvements to the right-of-way and walkways are at the expense of the applicant.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES
<p>Finding: No new streets are proposed for the project, however, all improvements to the right-of-way as shown on the project plans has been reviewed by the City Engineer. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: As the development is new construction, it is qualified as a substantial improvement. KMC 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-2 zone district, sidewalks are required and proposed.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES
<p>Finding: The project plans provided the details of the sidewalks for review by the City Engineer. Preliminary review of the project plans indicates that all city right-of-way standards for width and construction are met with no waivers requested or granted. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<i>Sidewalks may be waived if one of the following criteria is met:</i>	N/A
<p>a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i></p>	

<p>b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i></p>	
<p>Finding: The applicant has not requested, nor has the City Engineer granted a waiver to the sidewalk requirement for the project.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<p><i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i></p>	<p>YES</p>
<p>Finding: As shown on the project plans, the project proposes new sidewalks to be placed the full length of the subject property along N Leadville Ave and 2nd Street.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<p><i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i></p>	<p>YES</p>
<p>Finding: There are existing sidewalks along the subject property connecting to existing sidewalks to the north and east. The development proposes to replace the existing nonconforming 5-foot sidewalks on both N Leadville Ave and 2nd Street. The new sidewalks will taper and connect to the existing sidewalks to the north and west. There will be direct pedestrian access from the entrances and exits to the building to the new sidewalks as shown in the project plans.</p>	

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i></p>	<p>N/A</p>
<p>Finding: The applicant has not requested relief from the requirement to construct sidewalks nor has the city granted any such request.</p>	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES
Finding: The project proposes a series of roof drains, drywells, and catch basins to manage onsite stormwater. Per the project plans, as reviewed by the City Engineer, all stormwater is being retained on site.	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES
Finding: As shown on the project plans, all stormwater is retained on-site. The project proposes to construct right-of-way improvements the length of the subject property, including curb and gutter and other drainage infrastructure, along N Leadville Ave and 2 nd Street. The project also proposes drainage infrastructure in the alley behind the subject property for the full length of the subject property. Final design of drainage infrastructure will be reviewed and approved by the City Engineer prior to building permit issuance.	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	N/A
Finding: The City Engineer did not identify any additional drainage improvements necessary during department review. The characteristics of the site do not warrant additional drainage improvements.	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES
Finding: Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. Final design of drainage facilities will be reviewed and approved by the city engineer prior to issuance of a building permit.	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
Finding: All project costs associated with the development, including installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City, and no funds have been provided by the city for the project. The subject property is served by an above ground power and phones line located on poles within the alley. At the owner's expense, the above ground poles will be removed, and power and phone lines will be placed underground within the alley as shown in the project plans.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p>Finding: Per the project plans, all necessary utilities are underground. As shown on Sheet A1.0, the transformer and sector boxes are located off the alley toward the north end of the property. As illustrated on Sheet A3.1, the utility area will be screened with a metal screening which is accessible by Idaho Power per the will serve letter dated November 16, 2022.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<p>Finding: The location of the subject property is already served by fiber optical and therefore no conduit is required in this location.</p>	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<p>Finding: The surrounding neighbors and adjoining structures have a wide variety of materials and colors. Most of the structures adjacent to the subject property, or directly across the street, are one-story single-family residence type buildings with pitched roofs and white or lightly colored horizontal siding. However, further north along N Leadville Ave on the same block, the materials and color palette shift to brick, darker accent colors such as red or green, and flat roofs such as the building with the Cellar Pub. The building at the corner of N Leadville and Sun Valley Rd has brick, light colored stucco, and red accents. Finally, the Windermere Real Estate building at the corner of Main Street and 2nd Street has a similar materials palette with brick on the ground floor and metal panels on the second floor. Although the proposed development does not mimic the light-colored horizontal materials of immediately adjacent properties, the proposed materials of warmer brick, metal panels, and dark accents on windows/doors/balconies are complementary to the buildings on N Leadville Ave and west towards Main Street.</p>	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
<p>Finding: The subject property is vacant therefore this standard does not apply.</p>	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: The subject property is vacant therefore this standard does not apply.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: The project includes primary entrances to the restaurant and office spaces on N Leadville Ave at the ground floor. Additionally, there is a secondary accessible entrance to the restaurant on the 2 nd Street side of the building. All entrances have direct access to the sidewalk. All entrances are identifiable with signage and large prominent entry doors and windows facing the street.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
Finding: The building character is of a modern architecture with clean/firm lines, flat roofs, and varied materials of metal and brick. Prominent architectural features include trimming around the parapet wall at the roof, a circulation tower at the corner that is slightly higher than the remaining structure, cantilevered decks and second floor patios.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
Finding: As shown on Sheet A3.3, the project proposes a consistent set of materials including brick, bronze metal panels, and dark trim for windows and doors. The project also proposes dark metal trim for the cantilevered deck on the Leadville side of the building. The signage for the project is minimal and does not deter from the architectural characteristics of the building. Signage is primarily wall mounted signage on both Leadville and 2 nd Street with one blade sign proposed on the 2 nd Street side of the building for the restaurant.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
Finding: The proposed balcony on Leadville Ave and the railings for the balcony and second floor deck is of a material that contrasts but compliments the brick and metal paneling on the facades of the building. Landscape planters are proposed to be a lighter wood treatment that contracts but compliments the primary façade materials.	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	NO

Finding: As shown on Sheet A3.2, the building provides undulation and relief in multiple areas. The most prominent being the staggering of the building façade on the Leadville Ave side of the building. The north end of the façade is set back 4.5 feet where the south end of the façade (towards the corner) is set back 15 feet. This is further accentuated by the inclusion of a cantilevered balcony on the Leadville Ave side. On the 2nd Street side, the building is set back a consistent 5 feet, however, there is a recessed entrance to the building that provides relief at the ground level. Additionally, the west end of the second floor is set back significantly to accommodate a second level balcony. Due to the size of the setback, this portion of the building feels much like a one story building from the pedestrian level. The north façade is one portion of the building that staff has concerns. As shown on the south elevation of Sheet A3.1, the north façade of the building has a zero-foot setback and contains minimal relief. The corner is more prominent as the proposed material wrapping the corner is brick, however, the materials quickly shift to bronze metal paneling. This surface appears very flat and much of the building is exposed due to the size of the adjacent historic structure. The elevation on Sheet A3.1 shows the outline of the adjacent building, Vintage Restaurant.

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES

Finding: The subject properties’ primary street frontage is N Leadville Ave, however, as a corner lot, the building should orient to both N Leadville and 2nd Street. The development orients to N Leadville Ave very effectively with cantilevered balconies, main entrances to the restaurant and office spaces, and increased setback of the building at the corner. Additionally, the ground floor space includes storefront windows along both facades that invite pedestrians to interact with the uses.

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES

Finding: As shown on the project plans, the garbage area is in the rear of the building off the alley on the north end of the property. This area will include all garbage and refuse needs of all uses. The space is enclosed and not visible by the public.

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES

Finding: As shown on the project plans, the roof plan for the project includes flat roofs at an angle that causes water to drain toward a series of roof drains along the interior of the roof. Cantilevered decks integrate with roof drain systems for any water or snow accumulation. Based on the design of drainage facilities and roof design, no water or snow will enter onto adjacent properties.

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
Finding: The project is fully connected by crosswalks with the existing sidewalk system. There are no regional trails, other anticipated easements, or pathways other than the sidewalk system.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
Finding: The development does not propose any awnings over public sidewalks.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: Vehicle traffic accesses the site from the alley between N Leadville Ave and Main Street. Following required improvements to the alley, the access will be adequate to enter or exit the project safely. Bicycle and pedestrian circulation will primarily be in and out of the front of the project along 2 nd Street and N Leadville Ave.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A
Finding: The subject property is a corner lot, however, alley access points for parking in the Community Core are not considered curb cuts or driveways, therefore this standard does not apply.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: With the right-of-way improvements proposed, access for emergency vehicles, snowplows, and garbage trucks will be enhanced as access to the property will be achievable from all sides. Additionally, the removal of the overhead power and phone lines will remove existing obstructions to and through the alley. The transformer,	

garbage handling area, and parking stalls are set back 3 feet from the property line and will not overhang into the alley. There is direct access to the building from the alley, N Leadville Ave, and 2nd Street in case of emergencies.

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	N/A
Finding: The project proposes heated pavers for the pedestrian areas between the building, parking, and pedestrian sidewalks per the project plans, therefore, no on-site snow storage is required.	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: The development proposes landscaping for the project as shown on the project plans including landscape planter beds on both street sides and street trees.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: Per the planting plan on Sheet A1.0, all proposed plantings are found throughout the community core and will enhance the neighborhood. No landscaping exists on the property today as it is a vacant lot used for parking.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: All proposed plantings are drought tolerant and common for the area.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
Finding: The proposed land uses are complimentary to the surrounding area, therefore substantial buffer between the proposed development and surrounding properties is not encouraged. The development does not include any surface parking lots that need screening with vegetation. The building is setback on both street sides, expanding the public real beyond the 8 foot sidewalks. The area between the public sidewalks and the building are landscaped with ground level planter beds and a raised planter box with seating at the corner of N Leadville Ave and 2 nd Street.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES
Finding: The development proposes street trees which have been approved by the Public Works Director. Benches and a bike rack is proposed on the subject property, not within the right-of-way.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
Finding: The development does not propose any below grade structures.	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A

Finding: The subject property is not adjacent to any bodies of water; therefore, no riparian setback exists for the property. Additionally, the project does not propose any below grade structures.

FINDINGS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
<i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i>	YES

Finding: The development includes benches and bike racks on the subject property. Within the right-of-way, the development proposes street trees along N Leadville Ave and 2nd Street, snowmelt sidewalks, a new fire hydrant, and streetlights. The City Engineer and Streets Department has reviewed the proposed improvements and is supportive of the proposed plans. Final review and approval of all right-of-way improvements will be conducted at the time of building permit review.

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	YES

Finding: As shown in the project plans, street trees proposed are 3” caliper, include tree grates, and will be installed using Silva Cell installation requirements.

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	YES

Finding: No modifications to these requirements have been made. The Public Works Department has provided directions as to the location of improvements in the right-of-way.

17.96.070.B.1 - Architectural	Conformance
<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES

Finding: As outlined above, the development employs a variety of architectural materials and features to avoid the creation of blank walls and reduce bulk and mass. The only wall with limited undulation and material variation is the north façade which is located on an interior lot line and not set back more than 5 feet. The development proposes horizontal banding with varied materials colors to lessen the perceived height of the building and break up the blank wall.

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	YES
<p>Finding: The development includes a ground floor restaurant that fronts N Leadville Ave and 2nd Street. The building includes storefront type windows with landscape planters along both street frontages. The windows are sized to support the use as a restaurant with seating anticipated adjacent to the windows. Additionally, tall floor-to-ceiling doors are proposed on the Leadville Ave side of the building for the entrances to the restaurant and office spaces.</p>	

17.96.070.B.3 - Architectural	Conformance
<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	YES
<p>Finding: The development does not include features that would obscure views into windows. The landscape planters include low lying perennials as an accent to the windows rather than an obstruction.</p>	

17.96.070.B.4 - Architectural	Conformance
<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES
<p>Finding: The roof form and material is like that of the rest of the building. The roof form is flat, compatible with the horizontal cantilevered decks. No reflective materials are proposed.</p>	

17.96.070.B.5 - Architectural	Conformance
<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	N/A
<p>Finding: The project does not include pitched roofs.</p>	

17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	N/A
<p>Finding: Roof overhangs are not proposed to encroach into the public right-of-way or over the sidewalk.</p>	

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A
Finding: The building does not have a traditional front porch or stoops as no residential uses are proposed.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES
Finding: The trash disposal area for the project is in the rear of the building accessed from the alley and fully enclosed. The dumpster is located on an automatic roller which enters the alley during trash servicing and retracts to its original location within the enclosure once the servicing is complete. The enclosure is located 3 feet from the rear property line to ensure no obstructions of necessary alley uses.	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES
Finding: Mechanical equipment on the roof will be screened with a 5-foot max metal screen. The proposed locations of the rooftop mechanical equipment do not meet the city’s setback requirements and will need to be revised prior to building permit approval. The transformer and sector box for power are in the rear of the building along the alley and are fully screened from view. The metal panel screen is compatible with the other building materials as it is anticipated to be a bronze metal panel similar to the color of the metal panel on the façade walls.	

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	YES
Finding: No trees exist on the subject property, however, there are two trees on the adjacent property to the north that will need to be removed as part of the construction. The project proposes four street trees along N Leadville Ave and 2 nd Street that do not exist today. These trees are considered off-site replacement trees.	

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	YES
Finding: All street trees proposed are within tree grates and must be installed using Silva Cell installation requirements.	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	YES
Finding: The replacement trees have been reviewed and approved as part of the department review for the proposed project.	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	N/A
Finding: The development does not propose surface parking lots therefore this standard does not apply.	

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	N/A
Finding: The development does not propose surface parking lots therefore this standard does not apply.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
Finding: The development does not propose surface parking lots therefore this standard does not apply.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES
Finding: As shown on the project plans, one bicycle rack is proposed between the entrance to the basement residential unit and the main entrance to the building on 2 nd Street.	

17.96.070.F.2 – Bicycle Parking	Conformance
<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES
Finding: The development requires zero parking spaces, therefore no bicycle rack is required. One bicycle rack is provided within the recessed building entrance on the 2 nd Street side of the building.	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	YES
Finding: The required bicycle rack is provided in the recessed entrance to the building on 2 nd Street, less than 50 feet from the entrance. The bicycle rack is adjacent to the public sidewalk with no obstructions.	