



PLANNING AND ZONING COMMISSION AGENDA

Monday, February 27, 2017

Ketchum City Hall

480 East Avenue North, Ketchum, ID 83340

1. **5:00 PM- SITE VISIT: Argyros Performing Arts Center- 120 South Main Street, Ketchum Idaho (Ketchum Lot 4, Block 1, West 10' of Alley and Ketchum Lot 8, Block 1, East 10' of Alley)**
2. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**
3. PUBLIC COMMENT - Communications from the public for items not on the agenda.
4. COMMUNICATIONS FROM STAFF
 - a. Argyros Performing Arts Center Design Review - 120 South Main Street and 111 South Leadville, Ketchum, Idaho (Ketchum Lot 4, Block 1, West 10' of Alley and Ketchum Lot 8, Block 1, East 10' of Alley): The applicant is proposing to demolish the existing NexStage Theater Performing Arts Center building and construct a new theater building, to be named the Argyros Performing Arts Center, in its place. The properties are 0.126 acres and 0.126 in size and zoned Community Core (CC), Sub-district A.
 - b. Public Hearing - Argyros Performing Arts Center Text Amendment: The applicant is requesting a zoning code revision to amend Title 17, Zoning, of the Ketchum Municipal Code to amend Chapter 17.125, Off Street Parking and Loading, to amend the existing parking requirements for places of assembly.
 - c. Public Hearing - Continued from January 9, 2017 Knudson Conditional Use Permit 491 East 10th Street, Ketchum, Idaho (Tenth St Light Industrial Complex, Building A Unit 1): The Commission will consider and take action on an application for a Conditional Use Permit application for a live-work studio.
5. CONSENT CALENDAR
 - a. Minutes: February 13, 2017
 - b. 820 Walnut Avenue, Ketchum, Idaho (Ketchum Lot 2 Block 93 8250 SF): Findings
6. FUTURE PROJECTS AND NOTICING REQUIREMENTS
7. STAFF REPORTS & CITY COUNCIL MEETING UPDATE
8. COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE
9. ADJOURNMENT

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



City of Ketchum
Planning & Building

February 27, 2017

Planning and Zoning Commission
City of Ketchum
Ketchum, Idaho

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 27, 2017

- PROJECT:** Argyros Performing Arts Center zoning code text amendment request to amend Title 17, Zoning Regulations, Chapter 17.125, Off Street Parking and Loading
- FILE NUMBER:** 17-006
- APPLICANT:** Argyros Performing Arts Center / Sun Valley Performing Arts Center 501(c)(3); Tim Mott, Director
- REPRESENTATIVE:** Michael Doty Associates, Architects
- REQUEST:** Text amendments to the City of Ketchum Municipal Code to amend Title 17 Zoning Code, Chapter 17.125, to amend parking requirements for places of assembly and to remove a parking requirement that is addressed by the International Building Code.
- PLANNER:** Brittany Skelton, Senior Planner
- NOTICE:** Public notice for the public hearing was published in the Idaho Mountain Express on February 8, 2017. Public notice was posted in three public locations and was sent to outside agencies on February 3, 2017.
- PUBLIC HEARING:** Planning and Zoning Commission
- February 27, 2017
- ATTACHMENTS:**
- A. Table 1: Summary of Amendments
 - B. Table 2: Compliance with Comprehensive Plan
 - C. Application
 - D. Public Comment received by 5:00 p.m. Wednesday, February 22nd, 2017
 - E. Existing Chapter 17.125, Off Street Parking and Loading
 - F. Ordinance [# tbd] draft

INTRODUCTION

The City of Ketchum has been working toward adopting amendments to Title 17, Zoning, Chapter 17.125, Off Street Parking and Loading, of the municipal code in order to align the parking ordinance with objectives of the Comprehensive Plan, to promote uses that contribute to the vitality of downtown, and to incentivize Community Housing.

Public workshops and a public input survey were conducted during the summer of 2016 and after holding two public hearings the Planning and Zoning Commission recommended approval of amendments to Chapter 17.125, Off Street Parking and Loading, to City Council on October 24, 2016. City Council has considered the proposed amendments during meetings on December 19, 2016 and January 17, 2017 and has continued to refine the proposed amendments but to date has not adopted amendments to the ordinance.

One amendment previously recommended by the Planning and Zoning Commission for approval and an additional amendment considered City Council have a pertinent impact to the ability of the applicant's proposed project, the Argyros Performing Arts Center, to move forward. The Argyros Performing Arts Center project requires the demolition of the existing NexStage Theater and will consist of new construction of an enlarged, state-of-the-art performing arts center in its place; an application for Design Review for the project has been concurrently submitted. Because the applicant's project is dependent on a timeline that would allow the start of construction this spring, the applicant has elected to submit a text amendment application requesting the city to consider two code amendments independently from the broad and comprehensive proposed new parking ordinance currently under consideration by City Council.

PROPOSED TEXT AMENDMENTS

The applicant requests the following amendments to Title 17, Zoning, Chapter 17.125, Off Street Parking and Loading:

Amendment 1

Add the following exemption to the existing Section 17.125.050 -

H. Exemptions:

1. *Notwithstanding Section 17.125.020 (2) and (3), in the Community Core (CC), the following use meeting the definition found in 17.08.020 is exempt from providing off street parking:*

A. *Place of Assembly. Places of assembly uses in existence on [date text amendment is adopted] and any expansion of existing place of assembly uses in existence on [date text amendment is adopted] that occur on the same lot or parcel. This exemption shall also apply to any expansion of a Place of Assembly that includes adjacent lots or parcels but shall be limited to not more than 5,500 square feet above the existing square footage of the assembly use in existence on [date text amendment is adopted].*

Amendment 2:

Strike the following subsection of the existing section 17.125.060 -

17.125.060

C. *For all commercial and mixed use projects, and for any residential projects with more than four (4) units, at least one accessible parking space shall be provided on site.*

STAFF ANALYSIS

Statutory Requirements for Zoning Text Amendments

Title 67-6511 requires that all zoning ordinance text amendments must not be, “in conflict with the policies of the adopted comprehensive plan.” In addition, the local jurisdiction is required to make a finding that the text amendment is in compliance with the Comprehensive Plan and with existing policies of the city.

TABLE 1: Analysis of Amendments

SECTION	ANALYSIS OF AMENDMENTS
17.125.050: OFF STREET PARKING AND LOADING CALCULATIONS	
<p><i>H. Exemptions:</i></p> <p><u>1. Notwithstanding Section 17.125.020 (2) and (3), in the Community Core (CC), the following use meeting the definition found in 17.08.020 is exempt from providing off street parking:</u></p> <p><u>A. Place of Assembly. Places of assembly uses in existence on [date text amendment is adopted] and any expansion of existing place of assembly uses in existence on [date text amendment is adopted] that occur on the same lot or parcel. This exemption shall also apply to any expansion of a Place of Assembly that includes adjacent lots or parcels but shall be limited to not more than 5,500 square feet above the existing square footage of the assembly use in existence on [date text amendment is adopted].</u></p> <p>The above text amendment requested is similar to the amendment recommended for approval by the Planning and Zoning Commission on October 24, 2016.</p> <p>The Planning and Zoning Commission recommended the following amendment:</p> <p><i>C. Exemptions:</i></p> <p><i>1. The following uses meeting the definitions found in 17.08.020 are exempt from providing off street parking:</i></p> <ul style="list-style-type: none"> <i>a. Community Housing;</i> <i>b. Food Service;</i> <i>c. Retail Trade; and</i> <i>d. Assembly existing at the time the ordinance is passed [insert date].</i> <p>During public hearings with City Council, Council has considered allowing additional expansion of existing assembly uses and the applicant’s proposed text amendment reflects this. Additionally, the notwithstanding language was recommended by the City Attorney to provide further clarity. Finally, because the applicant’s project does not include retail trade or food service, the applicant has only requested a text amended related to assembly use.</p> <p>Ketchum’s definition of Assembly, Place of in section 17.08.020 is, “The use of land for a meeting place where persons gather together for purposes of attending civic, social, religious functions, recreational events or entertainment performances on a regular or recurring basis including, but not limited to, religious institutions, banquet facilities, funeral homes, theaters, conference centers, stadiums, or indoor or outdoor recreational facilities, but excludes a "cultural facility" as defined by this chapter. A gathering of less than twenty five (25) persons shall not be considered a place of assembly provided the gathering is accessory and incidental to the principal use.”</p> <p>Ketchum’s definition of Cultural Facility in section 17.08.020 is, “An institution or the use of land for the display, preservation, or exhibition of art, scientific, cultural, or historical materials including, but not limited to, museums, libraries or art galleries.”</p>	

These definitions are noted in order to distinguish existing places of assembly in the Community Core, such as the NexStage Theater, the Magic Lantern Cinema, and the LDS Church, from the Community Library and the numerous art galleries in the Community Core. If the text amendment is approved as requested by the applicant, which includes the allowance of additional expansion on adjacent lots, the parking exemption will apply only to a limited number of existing uses.

The proposed amendment’s alignment with the Comprehensive Plan is detailed in Table 2: Compliance With Comprehensive Plan.

17.125.060: COMMUNITY CORE DISTRICT OFF STREET PARKING REQUIREMENTS

~~C. For all commercial and mixed use projects, and for any residential projects with more than four (4) units, at least one accessible parking space shall be provided on site.~~ All accessible parking space requirements of the current building code as adopted by the city shall be met.

The City of Ketchum recognizes the International Code Council (ICC) family of codes, including the 2012 International Building Code. The International Building Code regulates accessible parking space requirements in Chapter 11, Accessibility. All development projects requiring a building code are reviewed for compliance with applicable ICC codes before a building permit will be approved and issued.

Striking the first part of Section 17.125.060.C relieves the duplication of the City imposing regulations on accessible parking spaces.

TABLE 2: Compliance with Comprehensive Plan

SECTION	SUMMARY
17.125 OFF STREET PARKING AND LOADING	
17.125 – Off Street Parking and Loading	<p>Two of the ten core values that drove the 2014 Ketchum Comprehensive Plan were “Enlivened by the Arts and Culture” and a “Vibrant Downtown”. These two values were enumerated into specific goals, policies, and implementation strategies.</p> <p>The city’s zoning ordinance is the main tool for implementing policy and the parking ordinance has the opportunity to facilitate, or to hinder, implementation of the vision defined in the Comprehensive Plan.</p> <p>The applicant has proposed two text amendments in their application. One proposed amendment is a request to strike language related to providing accessible parking. The language in the zoning code is redundant because the International Building Code addresses accessible parking, supersedes local code, and all projects receiving a building permit in the City of Ketchum are required to comply with the International Code Council family of codes prior to issuance of a building permit.</p> <p>The other proposed amendment is related to exempting assembly uses in Ketchum’s downtown, the Community Core zoning district, from parking requirements. This proposed amendment is consistent with the following goals and policies of the 2014 Ketchum Comprehensive Plan:</p> <p>Goal ART-1 Create cultural facilities that meet the needs of the community and make Ketchum a destination attraction.</p> <ul style="list-style-type: none"> • Policy ART 1.1 -Diverse Range of Cultural Facilities and Programs Encourage the

	<p>development of accessible cultural facilities (indoor and outdoor) and programs that will provide a diverse range of performing and visual arts activities.</p> <p>Goal ART-2 Build Ketchum’s identity as a cultural center and destination by increasing the visibility of the arts and cultural activities in the community.</p> <p>Policy ART 2.1 - Sustainable Arts and Cultural Opportunities</p> <ul style="list-style-type: none"> Promote, encourage and stimulate the growth of arts and cultural opportunities, recognizing that they are essential to a vital, sustainable and active community. <p>Policy ART 2.2 – Arts and Cultural Identity</p> <ul style="list-style-type: none"> Promote the identity of Ketchum as a world-class arts and cultural destination, and increase the visibility of arts and cultural opportunities in its national marketing efforts. <p>Goal LU-2 Support infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation.</p> <p>Infill means the creation of new buildings on vacant sites in a builtup area. Redevelopment means the more intensive use of existing underused buildings and sites or the replacement of buildings with larger buildings.</p> <p>If properly designed, infill and redevelopment can complement existing neighborhoods to keep the city dynamic, competitive, and economically viable in the marketplace. Appropriate change and activity can provide useful improvements while meeting new needs and challenges.</p> <p>While infill and redevelopment is desirable infill standards are needed to ensure compatibility with neighborhoods and districts.</p> <p>Policy LU-2.1 Infill and Redevelopment Support intensification of land uses on appropriate infill and redevelopment sites in the following areas: downtown, industrial areas, St. Luke’s Hospital/McHanville/Cold Springs Canyon, Warm Springs area, and existing neighborhoods with significant vacant parcels</p>
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STAFF RECOMMENDATION

Staff recommends approval of Sun Valley Performing Arts Center 501(c)(3) [Argyros Performing Arts Center]’s proposed text amendments to Chapter 17.125, Off Street Parking and Loading of the Ketchum Municipal Code.

OPTIONAL MOTIONS

1. "I MOVE TO RECOMMEND APPROVAL OF SUN VALLEY PERFORMING ARTS CENTER 501(C)THE PROPOSED AMENDMENTS TO CHAPTER 17.125 OF THE KETCHUM MUNICIPAL CODE, FINDING THE AMENDMENTS IN COMPLIANCE WITH THE COMPREHENSIVE PLAN, THE ZONING ORDINANCE, AND THE SUBDIVISION ORDINANCE."

2. "I MOVE TO RECOMMEND DENIAL OF THE PROPOSED AMENDMENTS TO CHAPTER 17.125 OF THE KETCHUM MUNICIPAL CODE FINDING THE AMENDMENT _____"

Attachment C.

Application

**APPLICATION FOR AMENDMENT TO
ZONING CODE TITLE 17 OR SUBDIVISION CODE TITLE 16**

Applicant: Sun Valley Performing Arts Center 501(c)(3); Tim Mott, Director Phone Number: (650) 740-2456

Mailing Address: PO Box 1702; Ketchum, ID 83340

Representative: Michael Doty Associates, Architects Phone Number: (208) 726-4228

Mailing Address: PO Box 2792; Ketchum, ID 83340

Section of Code to be amended: 17.125.050 Off Street Parking and Loading Calculations AND
17.125.060.C Community Core District Off Street Parking Requirement

Please describe the proposed change, or provide proposed amended language (attach separate sheet if necessary).

H. Exemptions:

1. *Notwithstanding Section 17.125.020 (2) and (3), in the Community Core (CC), the following use meeting the definition found in 17.08.020 is exempt from providing off street parking:*

A. *Place of Assembly. Places of assembly uses in existence on [date text amendment is adopted] and any expansion of existing place of assembly uses in existence on [date text amendment is adopted] that occur on the same lot or parcel. This exemption shall also apply to any expansion of a Place of Assembly that includes adjacent lots or parcels but shall be limited to not more than 5,500 square feet above the existing square footage of the assembly use in existence on [date text amendment is adopted].*

*Additionally, strike the following language:
17.125.060*

C. *For all commercial and mixed use projects, and for any residential projects with more than four (4) units, at least one accessible parking space shall be provided on site.*

OTHER INFORMATION may be reasonably required by the Administrator in order to process this application.

I hereby acknowledge I have filled in this application accurately and provided the required information to the best of my knowledge.

Signature of Owner or Authorized Representative

Date_____

Pursuant to Resolution No. 08-123, any direct costs incurred by the City of Ketchum to review this application will be the responsibility of the applicant. Costs include but are not limited to: engineer review, attorney review, legal noticing, and copying costs associated with the application. The City will require a retainer to be paid by the applicant at the time of application submittal to cover said costs. Following a decision or other closure of an application, the applicant will either be reimbursed for unexpended funds or billed for additional costs incurred by the City.

Attachment D.

Public Comment Received by 5:00 p.m. Wednesday, February 22nd, 2017

No public comments were received.

Attachment E.

Existing Chapter 17.125, Off Street Parking and Loading

Chapter 17.125

OFF STREET PARKING AND LOADING

17.125.010: PURPOSE:

17.125.020: GENERAL:

17.125.030: OFF STREET PARKING SPACE:

17.125.040: OFF STREET LOADING AREAS:

17.125.050: OFF STREET PARKING AND LOADING CALCULATIONS:

17.125.060: COMMUNITY CORE DISTRICT OFF STREET PARKING REQUIREMENTS:

17.125.070: SHARED PARKING REDUCTION:

17.125.010: PURPOSE:

The regulations of this chapter are intended to promote the efficient use of land by establishing minimum parking and loading requirements for specific land use categories. (Ord. 1135, 2015)

17.125.020: GENERAL:

A. Applicability:

1. Off street parking standards of this chapter apply to any new development and to any new established uses.
2. The off street parking standards of this chapter apply when an existing structure or use is expanded or enlarged. Additional off street parking spaces shall be required only to serve the enlarged or expanded area, not the entire building or use.
3. Off street parking shall be required for any change of use or change of operation that would result in a requirement for more parking than the existing use. Additional parking shall be required only in proportion to the extent of the change, not for the entire building or use.
4. Areas for deliveries and loading shall be required to ensure that loading and deliveries do not constrain fire access, street safety, or use public streets for deliveries. (Ord. 1135, 2015)

17.125.030: OFF STREET PARKING SPACE:

- A. Minimum Parking: Every use shall provide at least the minimum number of parking spaces required for that use based on the formulas listed in section 17.125.050 of this chapter, unless otherwise provided for in this title. Further, the minimum parking space and aisle dimensions are as follows:

Angle	Width (Feet)	Length (Feet)	Aisle Width (Feet)
90 degrees	9 .0	18	24
60 degrees	9 .0	21	18
45 degrees	9 .0	19 .8	15
Parallel	8 .0	23	-

ADA spaces shall meet the dimensional requirements as outlined in the current ADA standards for accessible design.

- B. Compact Vehicle Spaces: Commercial uses, hotels and lodges with a minimum of ten (10) or more spaces on the property may have up to ten percent (10%) of the required spaces marked for compact vehicles. Compact vehicle spaces must be a minimum of eight feet (8') wide and sixteen feet (16') long with aisle widths in accordance with the table above. These spaces shall be designed, designated, marked and enforced as compact spaces.
- C. Area Unobstructed: All area counted as off street parking space shall be unobstructed and kept clear of snow and free of other uses.
- D. Access To Streets: Unobstructed access to and from a street shall be provided for all off street parking spaces.
- E. Surfacing Material: All open off street parking spaces shall be surfaced with asphalt or cement concrete. Compacted gravel or other dustless material may be used for surfacing only upon approval by the commission.
- F. Shared Parking: Off street parking spaces may be provided in areas designed to serve jointly two (2) or more buildings or users; provided, that the total number of off street parking spaces shall not be less than that required by this title for the total combined number of buildings or uses, unless a reduction is approved through a shared parking plan in compliance with section 17.125.070 of this chapter, or otherwise specified.
- G. Lighting: Lighting used to illuminate off street parking areas shall be directed away from residential properties, and such parking areas shall be effectively screened on any side adjoining a residential zone by a wall, fence or hedge to a height of six feet (6'), except for the front yard setback area of the adjoining residential property, in which case, the maximum height shall be three feet (3').
- H. Street Frontage: A maximum of thirty five percent (35%) of the linear footage of any street frontage can be devoted to access off street parking. Corner lots that front two (2) or more streets may select either or both streets as access but shall still not devote more than thirty five percent (35%) of the total linear footage of street frontage to access off street parking.
- I. Alley: Off street parking spaces may be located directly off the alley if the width of the alley can adequately accommodate the parking. No parking stall shall project into an alley, sidewalk, or street. All alleys used as access to loading areas and/or to an off street parking space or spaces shall be surfaced with asphalt or cement concrete. Compacted gravel or other dustless material may be used for surfacing only upon approval by the commission.
- J. Condition Of Parking Lots: The owner or manager of the property shall maintain parking lots so that they are in good, safe and usable condition and free of public nuisances such as trash and weeds.
- K. On Site Drainage Facilities: All parking lots shall be designed with adequate on site drainage facilities to prevent the drainage of water onto adjacent properties or walkways or into the public right of way.
- L. Buffers: All parking and service areas that are adjacent to a street shall be buffered from public views by a combination of landscaping and fences/walls. Such improvements will be for the purpose of beautification. For safety purposes, views of the parking and services areas from the sidewalk and street should not be obscured.
- M. Snow: All surface parking lots shall be designed with either an underground heating system to facilitate the removal of snow or a storage area for plowed snow. The storage area shall be one hundred fifty (150) square feet for every fifty five feet (55') of linear lot width. (Ord. 1135, 2015)

17.125.040: OFF STREET LOADING AREAS:

In the LI-1, LI-2 and LI-3 districts, off street loading areas (containing 180 square feet with no 1 dimension less than 10 feet) shall be required as an accessory use for new construction or major additions involving an increase in floor area, as follows: One off street loading space for floor area in excess of two thousand (2,000) square feet, provided no loading space occupies any part of a public street, alley, driveway or sidewalk; except, that where practicable to do so, an alley may be used in lieu of the requirement of this section if prior permission is granted by the commission. (Ord. 1135, 2015)

17.125.050: OFF STREET PARKING AND LOADING CALCULATIONS:

The following rules apply when computing off street parking and loading requirements:

- A. Multiple Uses: Lots containing more than one use shall provide parking in an amount equal to the total of the requirements for all uses, unless a reduction is approved through a shared parking plan in compliance with section 17.125.070 of this chapter, or otherwise specified.
- B. Fractions: When measurements of the number of required spaces result in fractions, any fraction of one-half (1/2) or less will be disregarded and any fraction of more than one-half (1/2) will be rounded upward to the next highest whole number.
- C. Area Measurements: Unless otherwise specifically noted, all square footage based parking and loading standards are to be computed on the basis of gross floor area (GFA).
- D. Employee Based Standards: For the purpose of computing parking requirements based on employees the calculation shall be based on the largest number of persons working on any single shift.
- E. Unlisted Uses: Upon receiving a development application for a use not specifically listed in the off street parking matrix, the administrator shall apply the off street parking standard specified for the listed use that is deemed most similar to the proposed use or require a parking study in accordance with this chapter.
- F. Nonconforming Due To Lack Of Parking: No lawfully existing building shall be deemed to be a nonconforming building solely because of lack of parking spaces; provided, that space being used for off street parking or loading in connection with any such building at the effective date hereof shall not be further reduced in area or capacity.
- G. Off Street Parking Requirements: Off street parking requirements apply to uses in all districts, unless otherwise specified.

OFF STREET PARKING MATRIX

Specific Uses	Parking Spaces Required
Residential:	
Assisted living facility	1 space per 4 beds + 1 space per full time doctor and 2 spaces per each 3 other employees
Community housing units, CC district	No parking is required
Dwelling, multi-family	1.5 spaces for every 1,500 net square feet of residential space

Dwelling, one-family/2 attached townhouse units	1.5 spaces per dwelling unit
Residential, CC district	1 space per 1,500 net square feet
Residential project, 4 or more dwelling units	1.5 spaces per dwelling unit + 1 guest space per 4 dwelling units
Residential units, industrial districts	1 space per bedroom
Commercial:	
Bowling alley	3 spaces per lane
Building maintenance	1 space per 800 gross square feet, + adequate loading area for trucks
Car wash	2 short term holding spaces per service bay, + 1 per employee
Clinic/medical care facility	1 space per 300 gross square feet
Daycare ¹	1 space per full time nonresident staff member
	Requirements for drop off/pick up spaces:
	Daycare home: 1 drop off/pick up space
	Daycare facility: 2 drop off/pick up spaces
Daycare center: 1 drop off/pick up space per 8 children, or fraction thereof, which may be legally cared for within the center	
Daycare, industrial districts ¹	1 space per 250 square feet
Drive-in restaurant	1 space per 60 square feet of floor area
Firewood operation	1 space per 800 gross square feet, + adequate loading area for trucks
Gas station	2 short term holding spaces per fuel pump, + 3 spaces per service bay
Grocery store	1 space per 200 square feet of floor area
Health and fitness facility	1 space per every 6 seats or 1 space per 60 square feet of floor area, whichever is greater
Health and fitness facility, industrial districts	1 space per 250 gross square feet
Hospital	1 space per 1,000 square feet of floor area + 1 space per 4 regular employees
Hotel, lodging accommodation, tourist	0.75 space per room

homes	
Instructional service	1 space per 75 square feet usable dance floor area
Laundromats and dry cleaners	1 space per 250 square feet
Laundry facility, bulk industrial	1 space per 500 gross square feet, + adequate loading area for trucks
Manufacturing, industrial district	1 space per 500 gross square feet, + adequate loading area for trucks
Manufacturing or assembly establishment	1 space per employee, based on the greatest number of employees at any 1 time
Motor vehicle service	1 space per 250 gross square feet, plus 5 storage spaces per service bay
Office	1 space per 300 gross square feet
Office, industrial districts	1 space per 250 gross square feet
Places of assembly, including schools and religious institutions and similar uses	1 space per every 6 seats or 1 space per 60 square feet of floor area, whichever is greater
Printing and publishing services	1 space per 250 square feet
Professional service, CC district	2 spaces per 1,000 gross square feet
Public use	1 space per 1,000 gross square feet
Public utility facility	1 space per 500 gross square feet, + adequate loading area for trucks
Recording studio	1 space per 500 gross square feet, + adequate loading area for trucks
Recycling facility	1 space per 500 gross square feet, + adequate loading area for trucks
Research development and high technology industries	1 space per 250 square feet
Restaurant, bars and eating/drinking establishments	1 space per 100 square feet of assembly area
Restaurant, industrial districts	1 space per 250 square feet
Retail trade	1 space per 300 square feet
Retail trade, CC district	2 spaces per 1,000 gross square feet
Retail trade, industrial districts	1 space per 250 square feet
Self-storage and warehouse	1 space per employee

TV and radio broadcast stations	1 space per 500 gross square feet, + adequate loading area for trucks
Veterinarian and pet grooming service	1 space per 250 square feet
Wholesale	1 space per 500 gross square feet, + adequate loading area for trucks

Note: 1. For daycare businesses which require more than 1 drop off/pick up space, the additional spaces over 1 may be on the street; provided, that for each drop off/pick up space required, there are 3 legal spaces located within 50 feet of the property which can be reached without crossing a street. (Ord. 1135, 2015)

17.125.060: COMMUNITY CORE DISTRICT OFF STREET PARKING REQUIREMENTS:

The parking requirements listed in this section are specific to the community core district and are in addition to requirements listed in this chapter and the off street parking matrix, section 17.125.050 of this chapter.

- A. The minimum number of parking spaces provided on site shall be four (4) spaces per five thousand five hundred (5,500) square feet of lot area, unless fewer spaces are required by the off street parking matrix, section 17.125.050 of this chapter. Required parking shall be located on site prior to utilization of on street parking credit. A reduction in off street parking may be obtained through the provision of an approved shared parking plan in compliance with subsection 17.125.070B of this chapter, or otherwise specified.
- B. In a circumstance where the off street parking matrix results in a requirement of more than four (4) parking spaces, four (4) on street parking spaces per five thousand five hundred (5,500) square feet of lot area may be credited toward the required parking demand after the required four (4) space minimum on site is satisfied.
- C. For all commercial and mixed use projects, and for any residential projects with more than four (4) units, at least one accessible parking space shall be provided on site. All accessible parking space requirements of the current building code as adopted by the city shall be met.
- D. Except as provided in section 17.125.070 of this chapter, one hundred percent (100%) of the parking demand unmet by off street parking spaces may be met with a payment in lieu.
 1. The in lieu fee amount shall be determined annually by the city council based on the cost of land, the construction cost of structured parking above, on or below ground, the amount of land needed for each parking space and access, landscape areas and other amenities, the cost of physical improvements to the property including grading, compaction, drainage, asphalt, concrete, landscaping, lighting, striping and other amenities as may be considered appropriate.
 2. Payment of in lieu fees must be made to the city at the time of issuance of a building permit.
- E. All in lieu funds received under subsection D of this section shall be placed into a special and separate transportation improvement and acquisition fund to be used primarily for transit improvements and parking management programs, such as paid parking, that address the demand for physical parking on site in the CC district and secondarily for the purchase, construction and improvement of public parking facilities. (Ord. 1135, 2015)

17.125.070: SHARED PARKING REDUCTION:

- A. Shared Parking Reduction In Tourist Districts: A shared parking reduction by conditional use permit in all tourist zoning districts may be allowed as follows:
1. A reduction to parking requirements for individual accessory uses within a mixed use development in which lodging is the primary use may be made upon the granting of a conditional use permit according to the following schedule:
 - a. Restaurant and bar: Minimum one space per two hundred (200) square feet of seating area.
 - b. Conference facilities: Minimum one space per two hundred (200) square feet of seating area.
 - c. Retail and repair shops: Minimum one space per six hundred (600) square feet of net floor area.
 2. The commission may grant the reduction or a partial reduction after considering the following standards and criteria:
 - a. The accessory use(s) commonly provides a service to patrons of the primary use.
 - b. The capacity of the accessory use(s) is not in excess of the capacity of the primary use.
 - c. The operating of the accessory use(s) is staggered.
 - d. The hour(s) of peak parking demand for each use is different.
 - e. Existing on street parking is available for public use.
 3. A reduction to parking requirements for lodge units within a mixed use development may be made upon the granting of a conditional use permit according to the following schedule: Hotels and lodges, a minimum 0.66 space per room.
 4. The commission may grant the reduction or a partial reduction after considering the following standards and criteria:
 - a. Public, recreation facilities and adjoining complementary uses are within walking distance.
 - b. Existing tourist housing accommodations are within walking distance.
 - c. Public transit is available and within walking distance.
 - d. Pedestrian facilities and amenities are existing within the neighborhood.
 5. Employee parking is required at the rate of ten percent (10%) of total required spaces after reductions are provided.
 6. The total parking required shall not be less than one space per room.
- B. Shared Parking Reduction In The CC District: A shared parking reduction in the CC district may be proposed by an applicant through a project specific parking solution to address parking demand unmet by on site parking spaces for approval by the city. The applicant shall submit a parking analysis and plan that demonstrates how parking demand is addressed. (Ord. 1135, 2015)

Attachment F.

Ordinance Draft

ORDINANCE NO. ####

AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING TITLE 17, THE ZONING ORDINANCE, OF THE KETCHUM MUNICIPAL CODE BY AMENDING CHAPTER 17.125 OFF STREET PARKING AND LOADING, SECTION 17.125.050 OFF STREET PARKING AND LOADING CALCULATIONS; SECTION 17.125.060 COMMUNITY CORE DISTRICT OFF STREET PARKING REQUIREMENTS; PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Ketchum is authorized to amend the city zoning ordinance pursuant to Idaho Code § 67-6511; and

WHEREAS, Sun Valley Performing Arts Center 501(c)(3) requested a text amendment to #####; and

WHEREAS, the Planning and Zoning Commission after fully considering this request held a public hearing on February 27, 2017 and recommended approval to the City Council finding that the request, on the whole, was in compliance with the 2014 Comprehensive Plan; and

WHEREAS, the Ketchum City Council, having reviewed the proposed text amendment, held public hearings on April 3, 2017; and

WHEREAS, the Ketchum City Council having considered the recommendation of the Planning and Zoning Commission and submitted comments and testimony from the public, having determined that it is in the best interests of the public and adopt the proposed text amendments to Title 17, Zoning Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF KETCHUM

Section 1. CHAPTER 17.125.050 OFF STREET PARKING AND LOADING IS HEREBY AMENDED AS FOLLOWS:

H. Exemptions:

1. Notwithstanding Section 17.125.020 (2) and (3), in the Community Core (CC), the following use meeting the definition found in 17.08.020 is exempt from providing off street parking:

A. Place of Assembly. Places of assembly uses in existence on [date text amendment is adopted] and any expansion of existing place of assembly uses in existence on [date text amendment is adopted] that occur on the same lot or parcel. This exemption shall also apply to any expansion of a Place of Assembly that includes adjacent lots or parcels but shall be limited to not more than 5,500 square feet above the existing square footage of the assembly use in existence on [date text amendment is adopted].

Section 2. SECTION 17.88.060 COMMUNITY CORE DISTRICT OFF STREET PARKING AND LOADING CALCULATIONS IS HEREBY AMENDED AS FOLLOWS:

~~C. For all commercial and mixed use projects, and for any residential projects with more than four (4) units, at least one accessible parking space shall be provided on-site. All accessible parking space requirements of the current building code as adopted by the city shall be met.~~

Section 3. REPEALER CLAUSE. All City of Ketchum Ordinances or parts thereof which are in conflict herewith are hereby repealed.

Section 4. SAVINGS AND SEVERABILITY CLAUSE. It is hereby declared to be the legislative intent that the provisions and parts of this Ordinance shall be severable. If any paragraph, part, section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid for any reason by a Court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

Section 5. PUBLICATION. This Ordinance, or a summary thereof in compliance with Section 50-901A, Idaho Code, substantially in the form annexed hereto as Exhibit C shall be published once in the official newspaper of the City, and shall take effect immediately upon its passage, approval, and publication.

Section 6. EFFECTIVE DATE. This Ordinance shall be in full force and effect after its passage, approval and publication according to law.

PASSED by the CITY COUNCIL and APPROVED by the MAYOR of Ketchum, Idaho on this 3rd day of April, 2017.

APPROVED:

Nina Jonas, Mayor

ATTEST:

Robin Crotty, Interim City Clerk



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF February 27, 2017

- PROJECT:** Argyros Performing Arts Center [formerly the NexStage Theater]
- FILE NUMBER:** #17-005
- OWNERS:** Sun Valley Performing Arts Center 501(c) 3
- REPRESENTATIVE:** Michael Doty Associates, Architects
- REQUEST:** Design Review approval to demolish the existing NexStage Theater Performing Arts Center building and construct a new theater building in its place to be named the Argyros Performing Arts Center.
- LOCATION:** 120 South Main Street AND 111 South Leadville Avenue
(Ketchum, Lot 4, Block 1 AND Ketchum Lot 8, Block 1)
- ZONING:** Commercial Core (CC), Subdistrict A
- NOTICE:** Notice was mailed to adjacent property owners within a 300-foot radius of the subject property on February 3rd, 2017 and posted in three public locations on the same date. Notice was published in the Idaho Mountain Express on February 8th, 2017.
- REVIEWER:** Carl Anderson, Associate Planner

Background

1. The NexStage Theater is an existing place of assembly. The applicant is proposing to demolish the existing NexStage Theater and build an expanded place of assembly, to be named the Argyros Performing Arts Center, to occupy the same site. The new Argyros Performing Arts Center will be entirely new construction.
2. The subject property is located in Subdistrict A, Retail Core of the Community Core (CC) district. The site contains one existing building, located on Ketchum Townsite Lots 1 and 8 of Block 1. The new Argyros Performing Arts Center will be comprised of a place of assembly, which will contain a main theater space, an accessory black box theater, and uses accessory to a theater operation. The applicant is proposing to construct a three story building with a main theater space on the first floor, meeting space on the second floor, a black box theater on the second floor, and theater office space on the third floor. A portion of the second floor space will be open to the main theater space below, located on the first floor.
3. The existing building is 12,942 gross square feet and the proposed building is 17,859 gross square feet. The new theater will add approximately 100 seats, which includes the black box space.
4. The existing building and the proposed principal building occupy Ketchum, Lot 4, Block 1, Ketchum Lot 8, Block 1, and vacated portion of alleyway. The applicant will submit a Lot Line Shift application at a later date to create one 12,108 sf lot.

5. The applicant received pre-application Design review approval from the City of Ketchum Planning & Zoning Commission on November 14, 2016.

Comprehensive Plan Analysis

The 2014 Comprehensive Plan designates the property for mixed-use commercial use. This category is intended to promote a wide range of land uses, including offices, medical facilities, health/wellness-related services, recreation, government, residential, and services. General retail is limited to the downtown core. Secondary uses include open space, places of worship and public uses are also appropriate. One of the intents of the mixed-use commercial area is to improve the areas surrounding the downtown areas outside the retail core (2014 Ketchum Comprehensive Plan, Chapter 12: Future Land Use, pg. 66-70).

The comprehensive plan states that a mixing of different land uses in one discrete area has historically been prevalent in towns and cities, including Ketchum's downtown. The 2014 Plan promotes new and existing mixed-use development because it creates identity and attractive pedestrian environments, stimulates reinvestment, and increases transit use over time. Generally, mixed-use development should be designed according to the following principles (2014 Ketchum Comprehensive Plan, Chapter 12: Future Land Use, pg. 66-70):

1. New mixed-use development should be based on a coherent master plan that physically integrates different uses (for example, retail, residential, hotels, offices, or civic and cultural facilities). The mix of land uses can be "vertical" (with project components in a single mixed-use building or block), or "horizontal" (with components in separate buildings).
2. New structures in existing mixed-use areas should be oriented to streets and sidewalks and contain a mix of activities.
3. Mixed-use development should contain common public space features that provide relief to the density and contribute to the quality of the street.
4. Development standards should incorporate operational requirements for non-residential units, i.e., hours of operation, noise attenuation, screening, and other measures, to ensure compatibility with nearby residential units.
5. The Future Land Use Plan designates two types of mixed-use development areas in Ketchum: (1) Mixed-Use Commercial, and (2) Mixed-Use Employment, described in the following sections.

The 2014 Comprehensive plan also outlines ten core values that are important considerations in making decisions about the community's future. These goals form the basis for the future land use plan and the underlying goals and policies. Relevant to this project, staff has included the following core community values: A strong and diverse economy, vibrant downtown, community character, and enlivened by the arts and culture (2014 Ketchum Comprehensive Plan, Chapter 1, pg. 10-13). Specifically, staff has outlined two goals in particular.

1. Chapter 2. A Strong and Diverse Economy
 - a. Goals E-1 – Ketchum will work to retain and help expand existing independent small local businesses and corporations.
 - i. Policy E-1(b) Downtown as a Major Community Asset and Tourism Attraction.
 - b. Goal E-3 – Ketchum will continue to support our tourism economic base.
 - i. Policy E-3(b) Tourism-Related Land Uses, Businesses, Events, and Marketing.
2. Chapter 8. Arts and Culture
 - a. Goal ART-1 – Create cultural facilities that meet the needs of the community and make Ketchum a destination attraction.
 - i. Policy ART-1.1 – Divers Range of Cultural Facilities and Programs.
 - b. Goal ART-2 – Build Ketchum's identity as a cultural center and destination by increasing the visibility of the arts and cultural activities in the community.
 - i. Policy ART 2.1 – Sustainable Arts and Cultural Opportunities
 - ii. Policy ART 2.2 – Arts and Cultural Identity

The proposed reconstruction of the existing place of assembly is consistent with the uses, goals and policies listed above as specified within the 2014 Comprehensive Plan.

ANALYSIS

The purpose of Design Review is to maintain and enhance appearance, character, beauty and function of the city, to ensure that new development is complementary to the design of existing city neighborhoods and to protect and enhance the economic base of the City of Ketchum. Design review is required for building, developing, or substantially altering the exterior of the following buildings or projects in all zoning districts:

1. Non-residential use
2. Public or semi-public use
3. Multi-family dwellings, including attached and detached townhomes
4. Mixed use
5. Any structure with an original construction date of 1940 or earlier

Design Review approval may be granted by the Commission only if the applicant demonstrates that:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to all applicable standards and criteria as set forth in this chapter, 17.96: Design Review, and any other standards as adopted or amended by the City of Ketchum from time to time.

As demonstrated in the supporting attachments staff believes the applicant has addressed all of the Design Review standards. Should the Commission agree, the Commission may allow the applicant to move forward with Design Review and may attach additional conditions to approval as it determines necessary to ensure the health, safety, or welfare of the public. All conditions must cite the appropriate standard for imposing such condition. Such conditions include, but are not limited to:

1. Ensuring compliance with applicable standards.
2. Requiring conformity to approved plans and specifications.
3. Requiring security for compliance with the terms of the approval.
4. Minimizing adverse impact on other development.
5. Controlling the sequence, timing and duration of development and ongoing maintenance.
6. Requiring more restrictive standards than those generally found in the Ketchum Municipal Code.

COMMISSION OPTIONS

1. **Denial of the Application:** "Motion to deny the Design Review application from the owner Sun Valley Performing Arts Center finding the application **does not** meet the standards for approval under Chapter 17.96 of Ketchum Zoning Code Title 17, for the following reasons: [cite findings for denial]."
2. **Approval of the Application:** "Motion to approve the Design Review application from the owner Sun Valley Performing Arts Center finding the application meets the standards for approval under Chapter 17.96 of Ketchum Zoning Code Title 17 with the following conditions: [insert conditions of approval here]"
3. **Continuation of the Application:** "Motion to continue the Design Review application from owner Sun Valley Performing Arts Center to a date certain of [insert date of meeting]."

STAFF RECOMMENDATION

Staff recommends approval of the application and supporting plans as presented.

RECOMMENDED CONDITIONS

Ketchum City Engineer, Streets, Utilities, Fire, Planning and Building Department requirements shall be met, including:

1. All departmental conditions as described in Table 1;
2. All staff conditions as described in Tables 2 and 3;
3. All building and fire code requirements as dictated by 2012 family of international building codes shall apply to all construction onsite;
4. Per Title 17, Section 17.96.090: TERM OF APPROVAL: The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations;
5. Design Review elements shall be completed prior to final inspection/occupancy;
6. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation;
7. Design Review approval is contingent upon City Council's adoption of the applicant's text amendment request application.

ATTACHMENTS:

- A. Table 1. Requirements for All Applications
- B. Table 2. Zoning Standards Analysis
- C. Table 3. Design Review Standards
- D. Table 4. Design Review Standards for Community Core Projects
- E. Application
- F. Plans
 - a. Survey, existing conditions, dated November 2, 2016
 - b. 3-D View Study, dated February 2, 2017
 - c. Existing Site Photos, dated February 2, 2017
 - d. Proposed Exterior Materials board, dated February 2, 2017
 - e. Photometric Layout, dated January 26, 2017
 - f. Design Review Plan Set, dated February 2, 2017
 - i. Existing Topography / Survey
 - ii. Preliminary Civil Grading and Drainage Plan
 - iii. Site Plan
 - iv. Grading Plan
 - v. Landscape Plan
 - vi. Proposed First Floor and Basement Plans
 - vii. Proposed Second and Third Floor Plans
 - viii. Proposed Roof Plan
 - ix. Proposed East, West and North Elevations
 - x. Proposed Building Sections A and B
 - xi. Gross Square Footage Diagrams
 - xii. Proposed Exterior Lighting Plan
 - g. Right-of-Way Encroachment Permit Diagrams, dated January 28, 2017
 - h. Public Access Easement Exhibit, dated February 2, 2017
- G. Will Serve Letters
 - a. Clear Creek, dated January 31, 2017
 - b. Intermountain Gas, dated January 24th, 2017
 - c. Idaho Power, dated January 27, 2017
- H. Public Comments for Design Review Received by 5:00 p.m. Wednesday, February 22nd, 2017
- I. Public Comments Previously Received for Pre-Design Review

Attachment A.
Table 1: Requirements for All Applications

City Department Comments			
Compliant			
Yes	No	N/A	City Code
			City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.040 Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Police Department: No comments at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Fire Department: The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</p> <p>Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.</p> <p>Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.</p> <p>An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.</p> <p>NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.</p> <p>An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. A manual fire alarm system that activates the occupant notification system in accordance with Section 907.5 shall be installed in Group A occupancies where the occupant load due to the assembly occupancy is 300 or more. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.</p> <p>Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.</p> <p>An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.</p> <p>Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.</p>

		<p>408.2.1 Seating plan. The fire safety and evacuation plans for assembly occupancies shall include the information required by Section 404.3 and a detailed seating plan, occupant load and occupant load limit. Deviations from the approved plans shall be allowed provided the occupant load limit for the occupancy is not exceeded and the aisles and exit access-ways remain unobstructed.</p> <p>408.2.2 Announcements. In theaters, motion picture theaters, auditoriums and similar assembly occupancies in Group A used for non-continuous programs, an audible announcement shall be made not more than 10 minutes prior to the start of each program to notify the occupants of the location of the exits to be used in the event of a fire or other emergency.</p> <p>[B] 1006.2 Illumination level. The means of egress illumination level shall not be less than 1 foot-candle (11 lux) at the walking surface.</p> <p>Exception: For auditoriums, theaters, concert or opera halls and similar assembly occupancies, the illumination at the walking surface is permitted to be reduced during performances to not less than 0.2 foot-candle (2.15 lux), provided that the required illumination is automatically restored upon activation of a premises' fire alarm system where such system is provided.</p> <p>An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.</p> <p>Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Public Works: Streets Department: Looking at the civil plans, the grades for the sidewalk curb and gutter in several sections do not meet city standards. After meeting with Galena several times to try and improve the grades, I understand this particular site has constrictions that limit the ability to get grades that will meet our code. Although proposed grading does not meet this standard of slopes less than .5%, I believe the applicant has done their best to try.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Utilities: The property is currently served off of a fire line connecting off of Main St / SH 75. If it is not used as indicated it will need to be cut and capped in place at the fire line valve in the street. The current use is served from a 1" domestic meter off the fire line. When the new building is built, that meter will have to be replaced per DEQ standards at the owner's expense. No impact fees will apply unless meter size is increased. Please show the new fire line size on future drawings.</p> <p>There is currently an old KSW 4" water line that terminates at the property line with a circulation point frost free hydrant and dry well. If this circulation point is to be abandoned the KSW line will need to be cut and capped with a circulation frost free and dry well provided in a point safe from traffic and snow plows as approved by the Water supervisor. All sewer connections will be protected during demo, and any that are not used with the new construction will need to be capped at the property line.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Parks/Arborist: Street tree species and spacing look great. All other landscaping on the property looks good.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: Building must meet 2012 International Building Codes.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the staff report.

Attachment B.
Table 2: Zoning Standards Analysis

Compliant			Compliance with Zoning District	
Yes	No	N/A	Regulation	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Lot Area
			<i>Staff Comments</i>	Permitted: 100% Proposed: 88.0% <i>Lot size at 12,108 sf / Building coverage at 10,660 sf</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Height
			<i>Staff Comments</i>	Required: <i>A maximum building height of 42' feet is permitted.</i> Proposed: <i>The maximum building height proposed is 42'.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Setbacks
			<i>Staff Comments</i>	Required: <i>Front (West - Main Street): 0'</i> <i>Side (North - E. 1st Street): 0'</i> <i>Side (South - interior): 0'</i> <i>Rear (East - N. Leadville Avenue.): 0'</i> Proposed: <i>Front (West): 32'-0"</i> <i>Side (North) : 0"</i> <i>Side(South): 6"</i> <i>Rear (East): 11'-6" at building; 0" at overhang</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.140	Curb Cut
			<i>Staff Comments</i>	Required: <i>A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.</i> Proposed: <i>No curb cut is proposed. Flat curbs are proposed for access from N. Leadville Avenue to the garbage dumpster located at the southeast corner of the building and at the north side of the building from Main Street to facilitate the design of the accessible loading area. This is further described in Table 3, section 17.96.060(G) (4).</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	12.125.020.A.2 & 17.125.050	Parking Spaces
			<i>Staff Comments</i>	Required: <i>The off street parking standards apply when an existing structure or use is expanded or enlarged. Additional off street parking spaces shall be required only to serve the enlarged or expanded area, not the entire building or use.</i> Existing: <i>The existing building has non-conforming parking as there is no existing parking onsite. The proposed new construction will have additional seating based on the expanded theater. The current parking code requires that onsite parking be provided to accommodate the additional seating. The current parking requirement, per City code 17.125.050, would be: One (1) space per every six (6) seats or One (1) space per 60 square feet of floor area, whichever is greater. Additionally, the current parking requirement, per City code 17.125.060, would also require that: for all commercial and mixed use projects at least one accessible parking space shall be provided on-site.</i> <i>The existing parking requirements are listed below.</i>

				<p style="text-align: center;">Parking Requirements</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">Existing</th> <th style="text-align: center;">Increase in # of seats</th> <th style="text-align: center;">Increase in sf floor area</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">No onsite parking</td> <td style="text-align: center;">17 parking spaces (increase of 100 seats)</td> <td style="text-align: center;">82 parking spaces (increase of assembly sf)</td> </tr> </tbody> </table> <p>Proposed: <i>The applicant has submitted a zoning code text amendment application with the City Planning and Building Department to be considered by the Planning and Zoning Commission, and the City Council.</i></p> <p><i>The text amendment application requests to exempt existing places of assembly in the Community Core from being required to provide on-site parking and to remove criteria from the parking ordinance addressing accessible parking spaces. The applicant's text amendment request would align the parking requirement for places of assembly with the proposed parking ordinance that is currently being considered by the City Council and would remove criteria for accessible parking from the Ketchum zoning code because accessible parking is superseded by and addressed within the 2012 International Building Code, Chapter 11, Accessibility. All projects in the City of Ketchum that require a building permit are required to comply with the 2012 International Building Code prior to receipt of a building permit.</i></p> <p><i>Should the text amendment be approved, the proposed project would be exempt from parking requirements as it is a place of assembly and the applicant will still be required to comply with accessible parking space requirements of the 2012 International Building Code, which is the current building code as adopted by the City.</i></p> <p><i>As such, staff has recommended approval of the Design Review application with the condition that the Design Review approval is contingent upon City Council's adoption of the applicant's text amendment request.</i></p>	Existing	Increase in # of seats	Increase in sf floor area	No onsite parking	17 parking spaces (increase of 100 seats)	82 parking spaces (increase of assembly sf)
Existing	Increase in # of seats	Increase in sf floor area								
No onsite parking	17 parking spaces (increase of 100 seats)	82 parking spaces (increase of assembly sf)								
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	<p>Floor Area Ratios and Community Housing</p> <p>Permitted in CC <i>Permitted Gross FAR: 1.0</i> <i>Inclusionary Housing Incentive: 2.25</i> Lot area: 12,108 square feet</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2" style="text-align: center;">Total Floor Area</th> </tr> <tr> <th style="text-align: center;">Proposed</th> <th style="text-align: center;">Existing</th> </tr> </thead> <tbody> <tr> <td style="height: 50px;"></td> <td style="height: 50px;"></td> </tr> </tbody> </table> <p>Proposed FAR: 1.47 (17,859 sf/12,108 sf) Existing FAR: 1.07 (12,942 sf/12,108 sf)</p>	Total Floor Area		Proposed	Existing		
Total Floor Area										
Proposed	Existing									
			<i>Staff Comments</i>							

				<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Basement (not counted in FAR)</td> <td style="width: 25%; text-align: center;">8,841 SF</td> <td style="width: 25%; text-align: right;">+/- 955 SF</td> </tr> <tr> <td>1st Floor</td> <td style="text-align: center;">9,494 SF</td> <td style="text-align: right;">+/- 12,100 SF</td> </tr> <tr> <td>2nd Floor</td> <td style="text-align: center;">6,688 SF</td> <td style="text-align: right;">+/- 842 SF</td> </tr> <tr> <td>3rd Floor</td> <td style="text-align: center;">1,677 SF</td> <td></td> </tr> <tr> <td colspan="3"><hr/></td> </tr> <tr> <td>Total</td> <td style="text-align: center;">26,700 SF; 17,859 Gross Floor Area</td> <td style="text-align: right;">13,897SF; 12,942 Gross Floor Area</td> </tr> </table> <p>Community Housing CH incentive: The applicant shall provide 835.89 sf of community housing either on-site or elsewhere within the City of Ketchum area of impact, or pay a fee in-lieu of \$198,941.82. See City code Chapter 17.124.040 for further detail.</p> <ol style="list-style-type: none"> 1. Increase in SF above existing FAR = 4,917 (17,859 – 12,942) 2. 20% of CH incentive to be deed restricted or pay fee in lieu: 983.4 sf: 4,917 · .20 = 983.4 3. Reduced by 15% to account for circulation, mechanical, etc.: 835.89 sf: 983.4 · .85 = 835.89 	Basement (not counted in FAR)	8,841 SF	+/- 955 SF	1 st Floor	9,494 SF	+/- 12,100 SF	2 nd Floor	6,688 SF	+/- 842 SF	3 rd Floor	1,677 SF		<hr/>			Total	26,700 SF; 17,859 Gross Floor Area	13,897SF; 12,942 Gross Floor Area
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Total	26,700 SF; 17,859 Gross Floor Area	13,897SF; 12,942 Gross Floor Area																				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.130 & 17.08.020	Zoning Matrix & Definitions																		
			<i>Staff Comments</i>	<p>17.18.130: Community Core District (CC) A. Purpose. The purpose of the CC community core district is to promote a compact and cohesive center of commerce and culture, to promote an attractive and safe pedestrian environment which includes sidewalks, gathering spaces, streetscape amenities and landscaping, to retain the unique small town scale and character and to encourage buildings which respect Ketchum’s historical and geographic context while providing diversity. Compatible mixed uses including retail, office, residential and cultural uses are encouraged. Commercial uses are concentrated in the CC district which is consistent with the city’s comprehensive plan and the downtown master plan.</p> <p>D. Subdistricts. Subdistricts specify areas of special characteristic within the community core which are designated on the City of Ketchum Zoning Map.</p> <p>17.08.020 – Definitions Place of Assembly: The use of land for a meeting place where persons gather together for purposes of attending civic, social, religious functions, recreational events or entertainment performances on a regular or recurring basis including, but not limited to, religious institutions, banquet facilities, funeral homes, theaters, conference centers, stadiums, or indoor or outdoor recreational facilities, but excludes a Cultural Facility as defined by this chapter. A gathering of less than 25 persons shall not be considered a Place of Assembly provided the gathering is accessory and incidental to the principal use.</p> <p>Proposed: <i>The applicant is proposing to replace the existing place of assembly with an expanded place of assembly to occupy the same site.</i></p>																		

Attachment C.

Table 3: Design Review Standards for all projects

IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1)	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development. <i>Staff Comments</i> The property is currently served by public streets.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(2)	All street designs shall be approved by the City Engineer. <i>Staff Comments</i> The applicant has coordinated with the City Engineer on the final street designs. At this time, the City Engineer has no concerns with the proposed street design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department. <i>Staff Comments</i> Sidewalks currently serve the site on Main Street, First Street East and Leadville Avenue; the applicant is proposing to reconstruct the sidewalks on Main St., First St. E. and Leadville. The proposed sidewalk design meets current standards, and has been approved by the City Engineer / Public Works Director.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. <i>Staff Comments</i> The applicant has coordinated with the City Engineer to meet the City's right-of-way standards. The sidewalk on Main Street is proposed to be reconfigured to accommodate a five-foot (5') wide drop-off zone inset into the sidewalk. The main street sidewalk is proposed to provide five-feet (5') of public access, with the inclusion of the easement access on the applicant's property, in order to accommodate the five-foot (5') wide drop-off zone. The drop off zone will require that curb and gutter be shifted to the east onto the property owner's private property; the applicant/property owner plan to grant a public access easement to maintain clear width from the proposed new curb-gutter location to planters that are proposed on the property owner's private property The five-foot (5') wide drop off zone will function as an on-street ADA compliant un-loading/loading area to serve the main entrance of the building. The sidewalk along First Street East is proposed to be an eight-foot (8') sidewalk as per direction from the City engineer. The right-of-way on First Street is sixty-feet (60'), containing a 12' drive aisle and eight-foot (8') wide parallel parking. The sidewalk along both Main Street and Leadville Avenue will be five-feet (5') wide and has been reviewed by the City Engineer. The City will re-stripe parking spaces along both First Street East and Leadville Avenue to a parallel configuration, which complies with the current City right-of-way standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. <i>Staff Comments</i> Neither criteria (a.) nor (b.) are applicable due to the size and scale of the proposed development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. <i>Staff Comments</i> All proposed sidewalk improvements satisfy this requirement.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>The existing sidewalks connect to adjacent sidewalks, and all reconstruction will connect to adjacent sidewalks as well. The final design of the sidewalk improvements have been coordinated with and approved by the City Engineer / Public Works Director.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>Staff does not recommend a contribution in-lieu for the above described pedestrian improvements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>The applicant states that storm water shall be directed to internal roof drains, drain leaders, and trench drain grates and retained on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>The applicant has coordinated with the City Public Works Department to address drainage concerns. Drainage improvements are proposed to be constructed in equal length of the subject property lines along the Main Street., First Street East, and Leadville Avenue sides.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>The applicant has coordinated with the City Public Works Department to identify and address any and all drainage improvements required for the site. The proposed drainage has been reviewed by both the City Engineer and the Street Superintendent. See comments from the Streets Department located in Table 1.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>All drainage facilities within the public right-of-way will be constructed per City standards and coordinated with the Public Works Department. The final design of the drainage facilities will be constructed per City standards, and approved prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement and has stated that they will provide all utilities necessary for the proposed development. See comments from the City Utilities Department located in Table 1.</i> <i>The applicant has verified with the applicable utilities companies and has ensured that all necessary utilities for the development will be provided. See supporting letters in attachments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement and will provide all utilities necessary for the development. The applicant states that they will work with all pertinent utility companies to meet City standards. The applicant shall coordinate with the City Utilities Department and receive approval of final utility location at the time of final inspection, prior to the issuance of a Certificate of Completion.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>The applicant states that the installation and payment of two 2-inch SDR11 fiber optic conduit shall be done in accordance with the City of Ketchum standards and at the discretion of the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>As indicated in the renderings, materials appear to be in keeping with the architecture and overall design of the surrounding properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>No landmarks have been identified on the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>The existing structure was built in 1947. The proposed project will be all new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>The proposed Main Street ground floor theater lobby entrance will be emphasized and clearly defined by the outdoor plaza, which will guide pedestrian access from the adjacent sidewalk. The outdoor plaza will be partially covered by the cantilevered black box theater above. The applicant states that the soffit treatment along the underside of the cantilever and the stone pavers at ground level are intended to offset the entry plaza area from the general pedestrian sidewalk.</i> <i>To further define the entryway, signage is proposed on a west-facing fin beneath the corner of the black box. Additionally, the building name will be located on the west-facing steel fascia at the floor level of the second floor black box.</i> <i>The applicant is proposing that the egress-only door exiting to the west, from the northwest corner of the building, will be clad with the adjacent material and will not be emphasized to the public. This was done with the intent to reduce pedestrian obstruction of the egress door.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The overall architectural design has remained largely the same from pre-application design review to design review.</i> <i>The north façade, which fronts First Street East, is approximately two-hundred and twenty (220') feet in length and the vertical mass is broken up by variations in roof height, façade materials and undulation in the building. The remainder of the north faced is broken up by changes in material, arrays of windows, and a roof overhang extending the length of the building.</i> <i>The main entrance of the building is located on the western end of the north façade, at the corner of Main Street and Frist Street East. Glass windows wrap around the first floor of the building on the north west side to create a transparent entryway to the ground floor lobby. At this location of the building, the second floor is cantilevered above the first floor and there are large scale windows on the north and west façade of the cantilevered portion</i>

				<i>of the building. The variation in materials, windows and cantilevered segments serve to break up the vertical and horizontal massing of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>Staff finds that the applicant has maintained a continuity of materials and colors that both serve to complement one another, and provide definition to the building. Staff finds that the materials serve to provide depth to the principal building, as well as to further break up the appearance of bulk and flatness, in combination with the architectural design of the proposed building.</i> <i>The applicant states that selection and composition of building materials has been selected with the designed intention to bring warmth through the use of wood laminate panels, and the form will create human-scaled texture as well. The high-pressure decorative exterior grade compact wood laminate panels are proposed along the black box volume, the perimeter or the theater volume, and along the ground floor of the east back-of-house area. The proposed inclusion of the vertical zinc siding is intended to act as a secondary material to the theater volume. The standing zinc is located on a series of pleats that canted towards Main Street at twelve-feet (12') from center. The applicant has utilized "pleats" with the intent to created undulation along the Main Street facing façade. The applicant states that the volume containing the north egress stair, as well as the 2nd and 3rd floor back-of-house facades will be a light grey fiber cement wall panels, intended to complement the selected material palette. The applicant proposes to utilize a blackened steel brow at the level of the second floor framing, which covers the plaza area below. A second upper steel brow is set four-feet (4') and eight-feet (8') beneath the top of the parapets of both the black box and theater volumes. The intent the steel brow is to unify the structure, and to minimize the perception of building height. The applicant is also proposing to utilize signage and other accents, which will match the blackened finish of the steel brows.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>The proposed landscape features are located in the plaza area at the front of the building (Main Street, wrapping around the corner to First Street East). The applicant states that the raised planters and seating platforms serve to shelter the plaza from traffic along Main Street and through traffic at the sidewalk. The proposed landscape features consist of raised planters and seating platforms at the plaza and along the corner of First Street East. The proposed landscape features will consist of teak wood, light-colored concrete, and blackened steel materials that will complement the proposed building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The proposed elevation views provided by the applicant demonstrate that the building walls provide variation, including undulations on all street-facing facades. The applicant has used pleats along the principal building, which are set in from the adjacent compact wood laminate siding, to provide shadow and depth to the façade. Changes in material and roof curb height are also used to break up the building bulk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The front entrance of the building orients towards Main Street. The plaza area is located on the corner of Main Street and First Street East, and the entrance is setback from the street, located underneath the cantilevered black box. The plaza provides ample gathering space that brings attention to the front entrance of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public

				view and located off alleys.
			<i>Staff Comments</i>	<i>Plans indicate garbage, recycling and mechanical areas will be both screened and enclosed. The garbage enclosure will be located on the southeast corner of the lot, and enclosed within the building, shielded by an overhead garage door, on the Leadville Ave side of the building. The applicant has coordinated with Clear Creek Disposal to provide space for a dumpster and carts that provide sufficient space to service the disposal area adequately. See the attached letter from Clear Creek Disposal for further comment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>Plans indicate that pedestrians will be sheltered at exterior doorways and at the main plaza area. The proposed roof is a flat roof in design and will be drained internally.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The site is currently well connected as all curb lines will match exiting curb lines along Main Street and Leadville Avenue. The proposed sidewalk along 1st St. E. will be improved to an eight-foot (8') wide sidewalk. There are no existing or anticipated easements and pathways beyond the general pedestrian sidewalks. Additionally, the applicant proposes that they will provide four (4) bike racks on-site, able to accommodate a total of eight (8) bikes on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>The applicant is proposing two low steel brows, each measuring five-feet (5') minimum from the face of the north façade. As the proposed sidewalks below are eight-feet (8') wide along First Street East, these brows will not encroach within two-feet (2') of parking or travel lanes within the right-of-way. The applicant has submitted an encroachment permit at the time of design review submittal, which will be approved prior to the issuance of a Certificate of Occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>The applicant has coordinated with the City Public Works Department to address traffic flow within the project and onto adjacent streets.</i> <i>The project will remove the existing bulb-out on First Street East, and convert the existing angled parking to parallel parking; both of these actions will facilitate improved traffic flow around the site. Bicycle parking is being provide onsite, and the sidewalks will adequately serve pedestrians. Additionally, the building footprint utilizes the majority of the site, and therefore there will be no ingress and egress of vehicles in and out of the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>The applicant is proposing two sections of flat curb and has coordinated with the Public Works Department on the final curb design.</i> <i>One section of the proposed flat curb will accommodate the mechanics of the disposal glider located on the southeast corner of the site and accessed from Leadville Avenue. The flat curb is greater than twenty-feet (20') to the nearest</i>

				<i>intersection (1st St. E. and Leadville Avenue). The second flat curb is intended to facilitate the design of the accessible parallel street parking along Main Street. The location of the second flat curb has been reviewed and approved by the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>The proposed site plan indicates that unobstructed access will be provided to serve emergency vehicles, snowplows, garbage trucks and similar service vehicles via the right-of-way and on-street parking areas. The applicant has also coordinated with Clear Creek Disposal to ensure that the disposal location will not place the disposal truck into the intersection of First Street East and Leadville Avenue during pick-up. See the attached letter from Clear Creek Disposal for further comment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>The applicant is not proposing a snow storage area on-site site. In lieu of a snow storage area, the applicant is proposing that all concrete sidewalks will be snow melted with hydronic heat tubing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The applicant is proposes landscaping along First Street East, as well as within the plaza area located at the corner of Main St. and 1st St. E. The applicant has coordinated with the City Arborist and City Engineer to provide the appropriate tree spacing and location of landscape features. The proposed landscaping plan has been reviewed by the City Arborist. See Table 1 for further comment from the City Arborist.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>This is an urban downtown site and landscaping will be comprised of street trees and planter boxes. Street trees and plantings have been reviewed and approved by the City Arborist. See Table 1 for further comment from the City Arborist.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>The City Arborist has reviewed the proposed trees, shrubs, grasses and perennials and has no concerns at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>Substantial landscaping is proposed on the Main Street frontage in the plaza area which serves as a buffer between the plaza area and Main Street. Landscaping is also interspersed along the perimeter of the First Street East side of the property. Landscaping is not proposed on the east side of the site (Leadville Avenue), which is the rear of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed.

			<p>Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</p>
		<i>Staff Comments</i>	<p><i>The applicant is proposing that eight-foot (8') sidewalks be installed along First Street East. The applicant states that pedestrian amenities will be installed along First Street East. The covered outdoor plaza within the site and fronting Main Street will have planters and benches. The applicant has coordinated with the Public Works Department to determine that along the proposed five-foot (5') sidewalk on both Main Street and Leadville Avenue there is not sufficient room for street trees or additional pedestrian amenities.</i></p>

Attachment D.

Table 4: Design Review Standards for Community Core Projects

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects				
<p>In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core district. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core.</p>				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 A(1)	<p>Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</p> <p><i>Staff Comments</i> <i>The applicant has coordinated with the Public Works Department to ensure that the approved design for street trees, street lights, street furnishings, and all other street improvements are installed and constructed appropriately. The applicant has also coordinated with Inovus to provide a photometric layout of the site. The City Engineer has no concern relating to the photometric layout at this time. The applicant final street trees, street lights, and street furnishings, and other street improvements shall be approved by the Public Works Department upon final inspection, and prior to the issuance of a Certificate of Occupancy.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(2) Streets	<p>Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.</p> <p><i>Staff Comments</i> <i>The applicant will coordinated with the City Arborist to ensure that all specified street trees are installed according to City requirements. The City Arborist has reviewed the street tree location and has no concerns at this time. The applicant street tree caliper size shall be approved by the City Arborist upon final inspection, and prior to the issuance of a Certificate of Occupancy.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(A)(3)	<p>Due to site constraints, the requirements of this subsection 17.96.070.A may be modified by the Public Works Department.</p> <p><i>Staff Comments</i> <i>N/A</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(1)	<p>Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.</p> <p><i>Staff Comments</i> <i>The north, east and west facades have been designed to include both solid surfaces and window openings intended to avoid the creation of blank walls. See staff comment in Table 3, section 17.96.060(F) (3) for further detail. The south wall adjoins an interior side property line and will be designed to meet building code fire separation requirements. The applicant is proposing that the portions of the wall that are visible to the public that will have a material selection similar to either the Adjoining building, or the proposed theater. The south wall does not directly face a street or alley, and is located less than five-feet (5') from the interior side property line.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			<i>Staff Comments</i>	<i>The applicant has included storefront windows and doors into the theater entrance and along ground floor lobby areas. The proposed design includes glazing at the back-of-house theater areas, at the upper two levels located at the east end of the structure, intended to maximize natural lighting. The design also includes storefront windows at the black box and theater areas, to be screened with black-out shades during performances. The two egress stairs, located on the north and east side of the building, will include elements of glazing.</i> <i>Landscaping planters have been included in the proposed design of the plaza area. The planters will provide separation between vehicular traffic on Main Street and pedestrian traffic along Main Street and First Street East.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			<i>Staff Comments</i>	<i>The proposed design of the front facing façade (Main Street) does not obscure views into windows. The applicant has designed the front facing façade with the focus on maximizing views into the windows.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			<i>Staff Comments</i>	<i>The applicant is proposing the use of flat top roofs which will be drained internally. The use of steel brows will be incorporated to break up the structure and add depth to the building. Reflective materials have not been proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			<i>Staff Comments</i>	<i>The applicant is proposing flat top roofs which will be drained internally.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 (B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			<i>Staff Comments</i>	<i>The applicant is proposing that the steel brow located below the drip edge at the roof be considered an overhang. The proposed steel brow does not extend more than three-feet (3') into the public right of way. The proposed steel brow has been reviewed by the Public Works Department. As the steel brow does not extend more than three-feet (3') into the public right-of-way and does not extend within two-feet (2') feet of parking or travel lanes within the right of way, staff considers the steel brow to be a roof overhang.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070 (B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			<i>Staff Comments</i>	<i>The proposed trash disposal area is located at the rear of the building, at the southeast corner of the principal building. The trash disposal area is fully enclosed within the building, and will be screened from public view using an overhead door. The trash disposal area is not proposed to be located within the public right of way. Additionally, the applicant has coordinated with Clear Creek Disposal to identify a suitable trash disposal location.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the

				overall building design.
			<i>Staff Comments</i>	<i>The applicant will work ensure that all roof and ground mounted mechanical and electrical equipment be fully screened from public view. Mechanical equipment will not exceed ten-feet (10') over the maximum building height and must be set back a minimum of ten-feet (10)' from property lines. The design will be compatible with the overall building design. The final screening, location and height of all ground and roof mounted mechanical equipment shall be approved upon final inspection and prior to the issuance of a Certificate of Occupancy.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			<i>Staff Comments</i>	<i>The applicant is proposing three-street trees along First Street East, which are proposed to be placed in tree wells and covered by tree grates which will be approved by the City Engineer. The City Arborist has encouraged the applicant consider utilizing Silva Cell technology for the street trees. This technology is known method to both enhance tree vitality and contribute to storm water management. For further comment see Table 1.</i> <i>The applicant is proposing that the on-site swedish aspens be located in a low planter box along the south property line to screen the plaza from the existing Kentwood Lodge wall. Both the City Arborist and City Engineer have reviewed the Landscape plans and have no comment regarding the tree placement at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			<i>Staff Comments</i>	<i>The three (3) proposed trees located along First Street East will be placed in tree wells and covered by tree grate. The final tree grate design shall be approved upon final inspection and prior to the issuance of a Certificate of Occupancy. The applicant is proposing that the on-site swedish aspens be located in a low planter box along the south property line to screen the plaza from the existing Kentwood Lodge wall. Both the City Arborist and City Engineer have reviewed the Landscape plans and have no comment regarding the tree placement at this time. Additional on-site planters are proposed within the plaza which will contain ornamental grasses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			<i>Staff Comments</i>	<i>Bike racks are being proposed at the applicant's volition. The applicant is not proposing any on-site parking that bike racks would be required proportionate to the number of required vehicle parking spaces, should the applicant's zoning text amendment request be approved.</i>

				<p>The applicant proposes that they will seek to provide four (4) bike racks able to accommodate a total of eight (8) bikes on site. The applicant further suggests the use of a summer-use only removable “bike-corrals” placed within the eight-foot (8’) width of curbside parallel parking area, located at the northwest corner of the site. The applicant states that the proposed bike-corrals will provide for a more suitable bike storage configuration as bike storage will be perpendicular to the curb, rather than parallel to the curb should bikes be stored on sidewalk. Staff suggests that perpendicular bike storage in a bike-corrals may also improve access to and from the building, as it will avoid the creation of a “bike wall” that parallel bike storage along the curb would create. This suggestion has been reviewed by the Public Works Department and they have no further comment at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(2)	<p>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.</p>
			<i>Staff Comments</i>	<p>See above.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	<p>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50’) feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</p>
			<i>Staff Comments</i>	<p>The applicant will locate the bicycle racks no less than fifty-feet (50’) from entrance of the building. The bike racks will be visible from the nearest entrance that they serve. The proposed bike racks currently run perpendicular to pedestrian traffic.</p>



City of Ketchum
Planning & Building

**CERTIFIED
COMPLETE**

213117

42

OFFICIAL USE ONLY	
File Number:	17-005
Date Received:	2/2/17
By:	K. Owens
Pre-Application Fee Paid:	
Design Review Fee Paid:	\$330
Approved Date:	
Denied Date:	
By:	C. Anderson
ADPE: Yes	<input type="checkbox"/> No <input type="checkbox"/>

Design Review Application

APPLICANT INFORMATION

Project Name: Argyros Performing Arts Center	Phone: 650-740-2456
Owner: Sun Valley Performing Arts Center 501(c)3; Tim Mott, Director	Mailing Address: PO Box 1702; Ketchum, Idaho 83340
Email: tim@mottventures.com, jim.d.garrison@outlook.com	
Architect/Representative: Michael Doty Associates, Architects	Phone: 208-726-4228
Email: mike@mda-arc.com, brenda@mda-arc.com	Mailing Address: PO Box 2792; Ketchum, Idaho 83340
Architect License Number: AR-1612	
Engineer of Record:	Phone:
Email:	Mailing Address:
Engineer License Number:	

All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.

PROJECT INFORMATION

Legal Land Description: Ketchum Lot 4 and Lot 8, Block 1; located within Sec 18, T.4 N., R.18 E.,B.M.	
Street Address: current addressing: 120 South Main Street and 111 South Leadville Avenue [subject to change following Fire Department direction]	
Lot Area (Square Feet): 12,108 SF	
Zoning District: CC, subdistrict A	
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain	
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other	
Anticipated Use: Place of assembly	Number of Residential Units: 0

TOTAL FLOOR AREA

	Proposed		Existing	
Basements	8,841 SF (not counted in F.A.R.)	Sq. Ft.	+/- 955 SF	Sq. Ft.
1 st Floor	9,494 SF	Sq. Ft.	+/- 12,100 SF	Sq. Ft.
2 nd Floor	6,688 SF	Sq. Ft.	+/- 842 SF	Sq. Ft.
3 rd Floor	1,677 SF	Sq. Ft.	--	Sq. Ft.
Mezzanine	--	Sq. Ft.	--	Sq. Ft.
Total	26,700 GSF; 17,859 SF F.A.R.	Sq. Ft.	13,897 GSF; 12,942 SF F.A.R.	Sq. Ft.

FLOOR AREA RATIO

Community Core: 1.47 proposed, 1.0 permitted	Tourist:	General Residential-High:
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BUILDING COVERAGE/OPEN SPACE

Percent of Building Coverage: 88.0% (building coverage @ 10,660 SF / lot size @ 12,108 SF)

DIMENSIONAL STANDARDS/PROPOSED SETBACKS

Front: 32'-0" min. proposed, 0 ft allowed	Side: 0" prop'd, 0 ft allowed	Side: 6" prop'd, 0 ft allowed	Rear: 11.5"@building, 0"@overhang, 0 ft allowed
Building Height: 42 feet max proposed, parapet height varies (refer to elevations), 42 feet allowed			

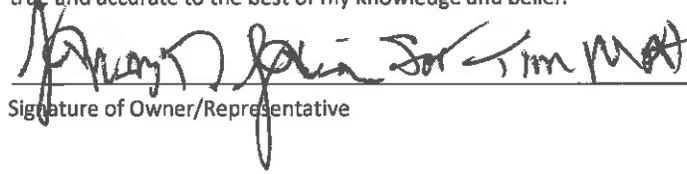
OFF STREET PARKING

Parking Spaces Provided: 0
Curb Cut: 0 Sq. Ft. 0 %

WATER SYSTEM

<input checked="" type="checkbox"/> Municipal Service	<input type="checkbox"/> Ketchum Spring Water
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The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.



Signature of Owner/Representative



Date

DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

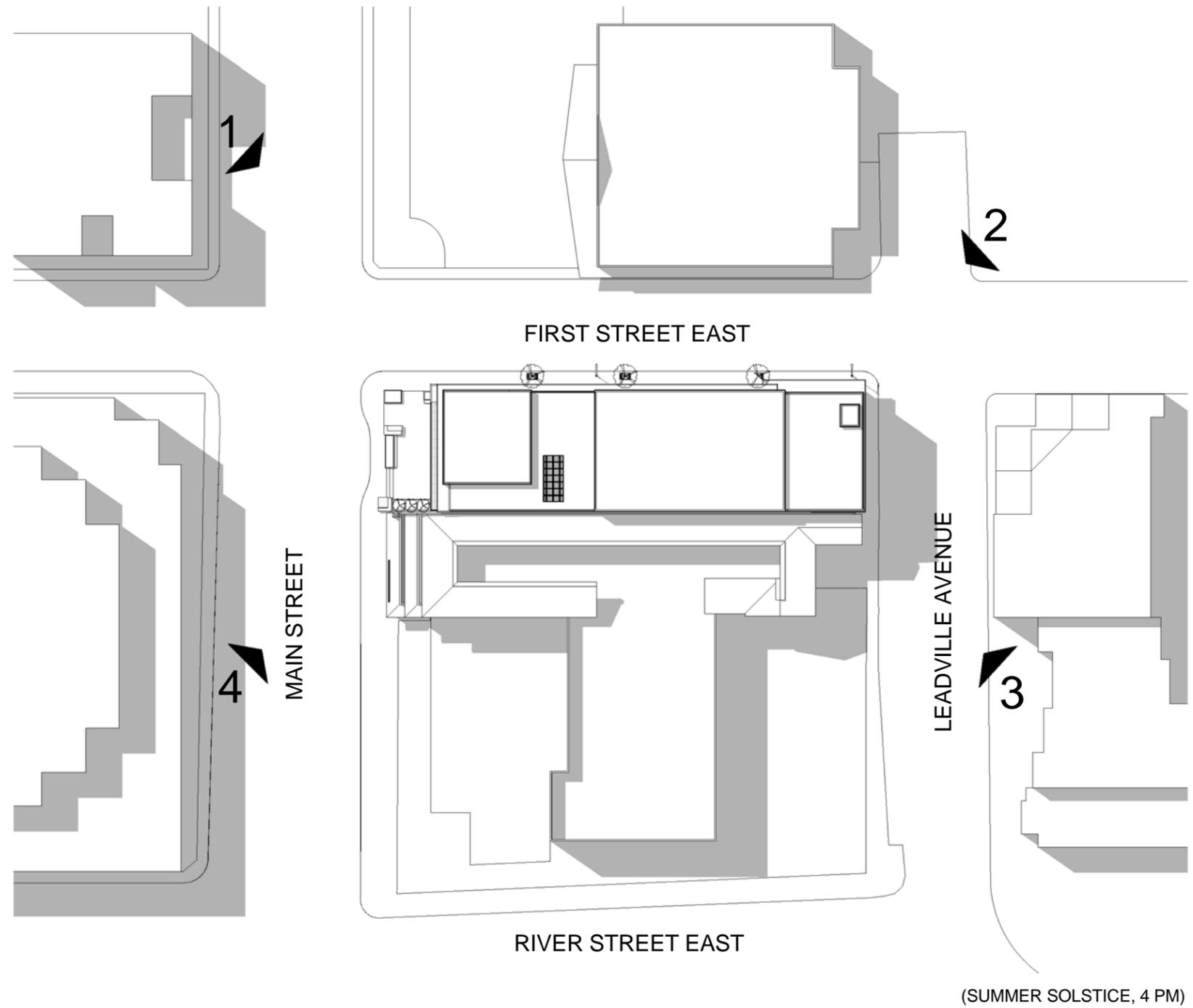
1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

Attachment F.

Plans



Argyros Performing Arts Center

3D VIEW STUDY KEY

02/02/17

SCALE: 1" = 60'-0"





(SPRING EQUINOX, 5 PM)

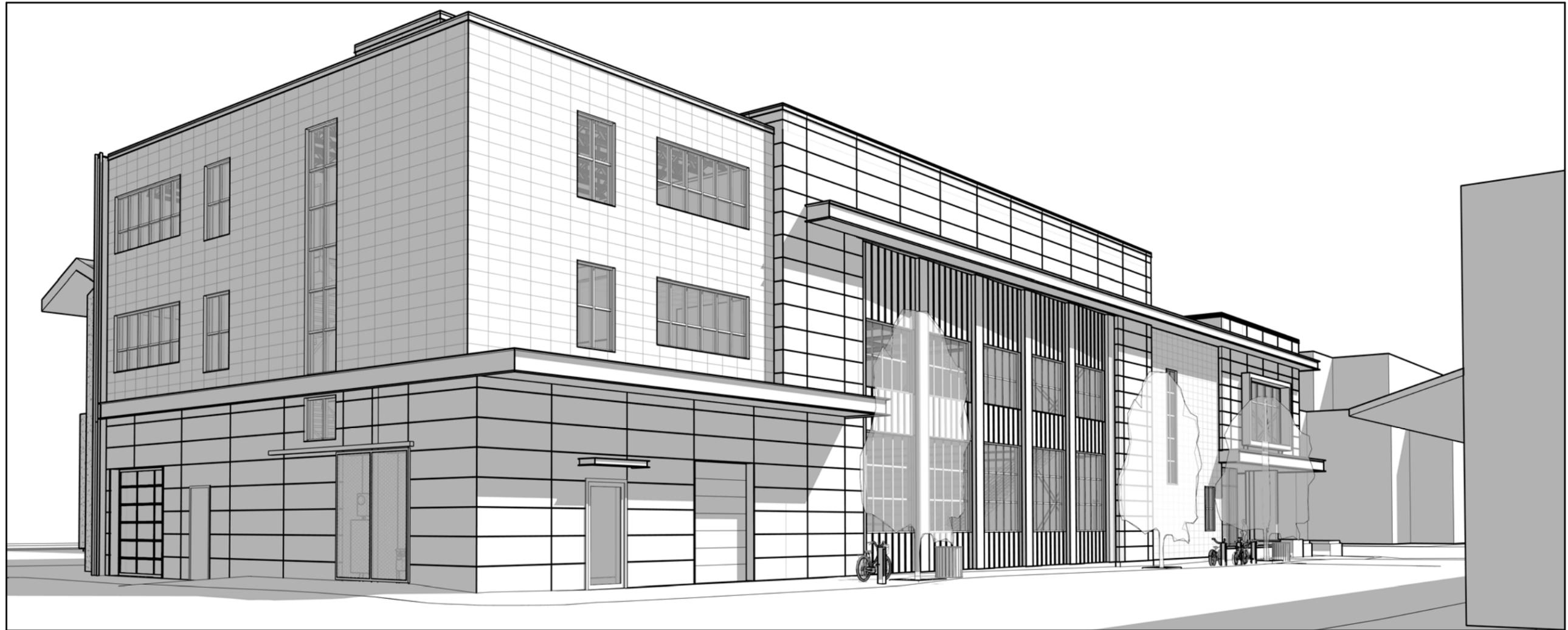
Argyros Performing Arts Center

02/02/17

3D VIEW 01 - FROM MAIN STREET AND FIRST STREET WEST
(LOOKING SOUTHEAST)

SCALE:





(SUMMER SOLSTICE, 4 PM)

Argyros Performing Arts Center

02/02/17

3D VIEW 02 - FROM FIRST STREET EAST AND LEADVILLE AVENUE
(LOOKING SOUTHWEST)

SCALE:





(SPRING EQUINOX, 9 AM)

Argyros Performing Arts Center

02/02/17

3D VIEW 03 - FROM LEADVILLE AVENUE (MID-BLOCK)
(LOOKING NORTHWEST)

SCALE:



© Michael Doty Associates, Architects PC



(SPRING EQUINOX, 2 PM)

Argyros Performing Arts Center

02/02/17

3D VIEW 04 - FROM MAIN STREET (MID-BLOCK)
(LOOKING NORTHEAST)

SCALE:

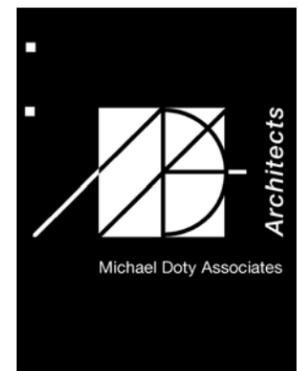




Image 1: View from First Street East looking southwest towards site.



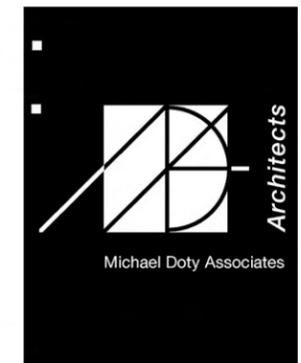
Image 2: View from corner of First Street East and Leadville looking southwest towards site.

ARGYROS PERFORMING ARTS CENTER

EXISTING SITE PHOTOS

SHEET 1

02 FEBRUARY 2017



© Michael Doty Associates, Architects, P.C.



Image 3: View from northwest corner of First Street East and Washington Avenue looking southeast towards site.



Image 4: View from northwest corner of First Street East and Main Street looking southeast towards site.

ARGYROS PERFORMING ARTS CENTER

EXISTING SITE PHOTOS

SHEET 2

02 FEBRUARY 2017



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Image 5: View from northwest corner of River Street and Main Street looking northeast towards site.



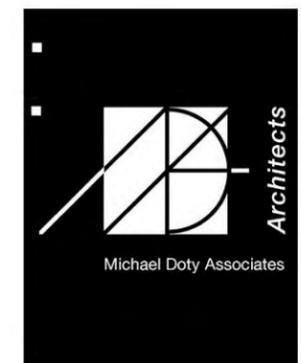
Image 6: View from Main Street looking northeast towards site.

ARGYROS PERFORMING ARTS CENTER

EXISTING SITE PHOTOS

SHEET 3

02 FEBRUARY 2017



© Michael Doty Associates, Architects, P.C.



Image 7: View from Leadville Avenue looking west towards site.



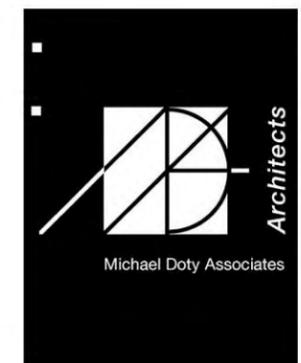
Image 8: View from Leadville Avenue looking northwest towards site.

ARGYROS PERFORMING ARTS CENTER

EXISTING SITE PHOTOS

SHEET 4

02 FEBRUARY 2017



© Michael Doty Associates, Architects, P.C.



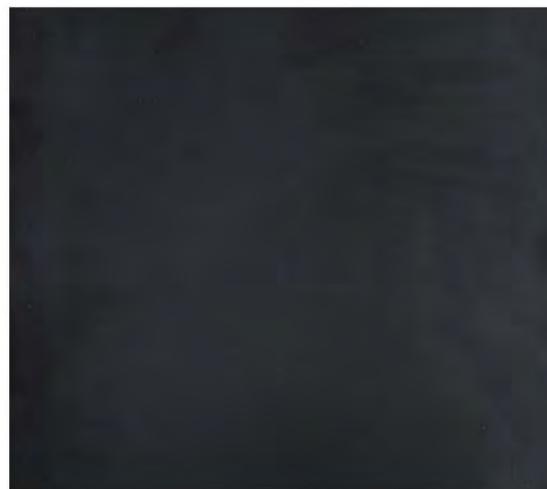
Primary Siding: Parklex Facade F high pressure decorative exterior-grade compact laminate. Color: Copper.



Tertiary Siding: Zinc patina vertical standing seam metal. Color: Reynobond Duragloss 5000, Zinc Patina.



Secondary Siding: Cembrit Cembonit fiber cement panels. Color: Granite.



Steel Fascia & Steel Accents: Blackened steel;
Sheet Metal Flashing: Englert Matte Black to match steel fascia.



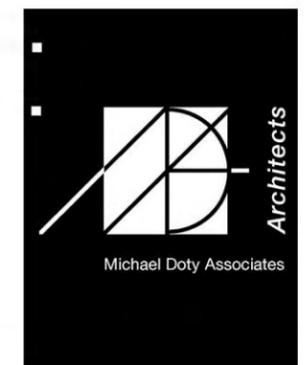
Storefront Window Frame: Clear anodized aluminum.

ARGYROS PERFORMING ARTS CENTER

PROPOSED EXTERIOR MATERIALS

FEBRUARY 02, 2017

CITY OF KETCHUM DESIGN REVIEW SUBMITTAL



© Michael Doty Associates, Architects, P.C.



Luminaire Schedule									
Symbol	Qty	Label	LLF	Description	Lum. Watts	S/P Ratio	Total Watts	BUG Rating	Arm
—□	2	NXT-12S-350mA-2ES	0.900	NXT 12S 0 X 2ES 350 XX 1 G XX XX X	14	1.66	28	B1-U0-G1	4

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
Sidewalk_Planar_Mesopic_Illum	Mesopic Illuminance	Fc	0.32	0.83	0.06	13.83

- NOTES:
- 1.Poles are placed in locations indicated on the site plans provided to Inovus
 - 2.Design does not take into account light deflected due to trees and/or other obstructions
 - 3.Design assumes 15' poles mounted at ground level

nexStage Theatre
 Solar Enhanced Lighting Project
 Photometric Layout

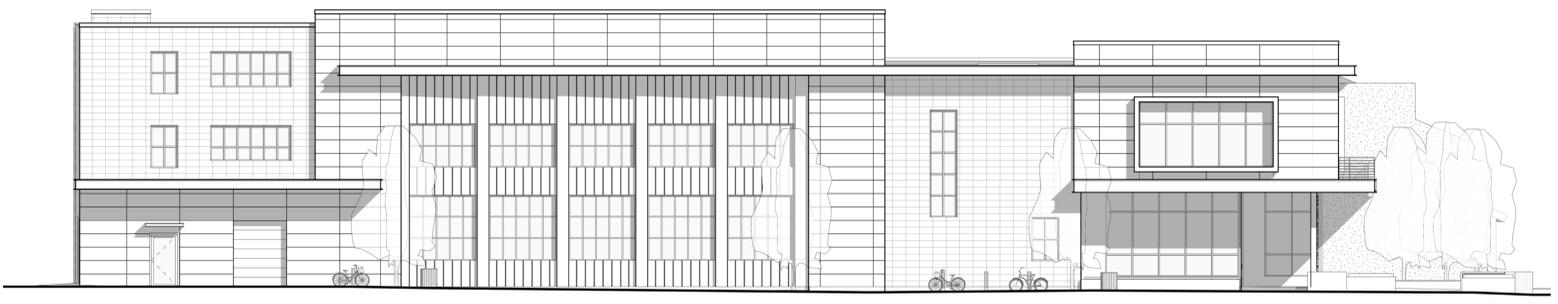
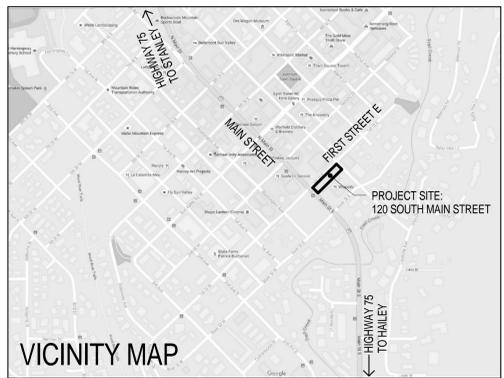
Designer
 RDC

Date
 1/26/2017

Scale
 NTS

Drawing No.
 1

PROJECT



INDEX TO DRAWINGS

Table listing drawing sheets: A0.1 TITLE SHEET, C1 EXISTING SURVEY / TOPOGRAPHY, L-1 LANDSCAPE - SITE PLAN, L-2 LANDSCAPE - GRADING PLAN, L-3 LANDSCAPE - LANDSCAPE PLAN, and various proposed plans like BASEMENT AND FIRST FLOOR PLAN, BUILDING SECTIONS, ELEVATIONS, etc.

ARGYROS PERFORMING ARTS CENTER

KETCHUM, IDAHO

SITE PLAN SYMBOLS

Table of site plan symbols including existing and proposed features like contour, property line, center line, easement, fence, storm drain, water line, gas line, telephone line, match line, and spot elevations.

ARCHITECTURAL SYMBOLS

Table of architectural symbols for building sections, wall sections, detail blowups, related detail cuts, elevations, and room names.

MATERIAL SYMBOLS

Table of material symbols for plan and section views, including earth, rock, porous fill, top soil, concrete, brick, cut stone, sheathing, brick, masonry, concrete stucco, plywood, finish wood, rough wood, batt insulation, rigid insulation, wood stud, metal stud, existing to remain, remove existing, wood, and glass.

PROJECT DATA

LEGAL DESCRIPTION: LOT 4, BLOCK 1 AND LOT 8, BLOCK 1 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M. KETCHUM, IDAHO. ZONING: COMMERCIAL CORE (CC), SUBDISTRICT A. OCCUPANCY: A-1 (ASSEMBLY), MAIN THEATER AND BLACK BOX; S-2 (STORAGE), BASEMENT; B (OFFICES), THIRD FLOOR. BUILDING AREA: SEE AREA CALC SHEET. SITE AREA: 12,108 SQ. FT. (0.28 ACRES). CODES: 2012 INTERNATIONAL BUILDING CODE (2012 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT. JURISDICTIONS: CITY OF KETCHUM PLANNING & ZONING; CITY OF KETCHUM BUILDING DEPARTMENT; KETCHUM FIRE DEPARTMENT.

ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including materials, finishes, and structural elements.

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PROJECT TEAM

OWNER: Sun Valley Performing Arts Center 501(c)(3) Tim Mott, Director PO Box 1702 Ketchum, ID 83340 tim@motiveventures.com. OWNER'S REPRESENTATIVE: Jim Garrison PO Box 3156 Sun Valley, ID 83353 (206) 914-1404 jim.d.garrison@outlook.com. ARCHITECT: Michael Doty Associates, Architects, PC PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com. GENERAL CONTRACTOR: Elias Construction Adam Elias PO Box 6272 Ketchum, Idaho 83340 (208) 745-5400 elias@eliasconstruction.com. THEATER CONSULTANT: Auerbach Pollock Friedlander Howard Glickman 225 Green Street San Francisco, CA 94111 (415) 392-7528 x210 hglickman@auerbachconsultants.com. STRUCTURAL ENGINEER: Frost Structural Engineering Markell Bateman 1020 Lincoln Road Idaho Falls, ID 83401 (208) 227-8404 x1 markell.bateman@frost-structural.com. LANDSCAPE ARCHITECT: Clemens Associates Rob King PO Box 300 Ketchum, ID 83340 (208) 726-5331 rob@clemensassociates.com. CIVIL ENGINEER: Galena Engineering Sean Flynn 4843 North 29th Street East, Suite A Idaho Falls, ID 83401 (208) 552-9874 x955 justin@es2eng.com. GEOTECHNICAL ENGINEER: Butler Associates, Inc. Steve Butler 280 Spruce Avenue North Ketchum, ID 83340 (208) 726-6333 svgeotech@gmail.com. MECHANICAL AND PLUMBING ENGINEER: Engineering System Solutions (ES2) Justin Judy 4843 North 29th Street East, Suite A Idaho Falls, ID 83401 (208) 552-9874 x955 justin@es2eng.com.

GENERAL REQUIREMENTS

- 1. ALL WORK PERFORMED SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF THE FOLLOWING AND HAVE SAME FORCE AND EFFECT AS IF CORDED DIRECTLY INTO CONTRACT DOCUMENTS. A. 2009 INTERNATIONAL BUILDING CODE B. ALL APPLICABLE LOCAL, CITY, COUNTY, STATE AND FEDERAL LAWS, CODES, ORDINANCES, COVENANTS, RULES AND REGULATIONS GOVERNING THE SITE OF WORK OR EFFECT AS OF THE DATE OF CONSTRUCTION DOCUMENTS. REGULATIONS GOVERNING THE SITE OF WORK OR EFFECT AS OF THE DATE OF CONSTRUCTION DOCUMENTS. SHOULD THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORM WORK NOT IN ACCORDANCE OR IN CONFLICT WITH THE ABOVE MENTIONED LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, CONTRACTOR IN VIOLATION SHALL BEAR RESPONSIBILITY FOR ALL COSTS INCURRED ARISING FROM REMEDIAL AND REPAIR OF NON-COMFORMING WORK. 2. GENERAL CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL ERRORS AND DISCREPANCIES IN THESE PLANS SHALL IMMEDIATELY BE REPORTED IN WRITING TO THE ARCHITECT AND SHALL BE RESOLVED AT THE ARCHITECT'S DISCRETION PRIOR TO THE COMMENCEMENT OF ANY WORK IN QUESTION. 3. ON SITE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUB CONTRACTORS. 4. THE GENERAL CONTRACTOR SHALL PROVIDE ON-SITE CONSTRUCTION SUPERVISION TO THE EXTENT NECESSARY TO ASSURE THAT ALL IMPROVEMENTS ARE BEING CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND COMMON INDUSTRY TRADE PERFORMANCE STANDARDS. GENERAL CONTRACTOR SHALL INSPECT ALL STRUCTURAL FRAMING MEMBERS, CONCRETE ANCHORS, THE FOUNDATION, FLASHING, ROOF MEMBERS, AND UNDERLAYMENT. INSPECTIONS TO ASSURE THAT ALL MATERIALS AND APPLICATIONS MEET MANUFACTURER'S SPECIFICATIONS AND INSTALLATION GUIDELINES OR ASTM REQUIREMENTS, WHICH EXCEEDS MORE STRINGENT AND TO NOTIFY THE ARCHITECT AND OWNER IN WRITING TO PREVENT DEFECTIVE AND/OR SUBSTANDARD MATERIALS FROM BEING INCORPORATED INTO WORK. 5. THE PROJECT ARCHITECT FOR MICHAEL DOTY ASSOCIATES ARCHITECTS, P.C. SHALL IMMEDIATELY BE NOTIFIED IN WRITING BY THE GENERAL CONTRACTOR, CONSTRUCTION SUPERINTENDENT SHOULD ANY DISCREPANCY, INCONSISTENCY, OR OTHER QUESTION ARISE PERTAINING TO THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL BEAR SOLE LIABILITY FOR ALL DECISIONS MADE WITHOUT CONSULTING ARCHITECT FOR CLARIFICATION OF MATTER IN QUESTION. 6. THE DESIGN ADEQUACY AND SAFETY OF THE ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT OR STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND/OR CONCRETE SLABS AND SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE ABOVE MENTIONED MATERIALS. OBSERVATION VISITS TO THE PROJECT BY THE ARCHITECT OR STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS. 7. REFER TO STRUCTURAL, SPECIFICATIONS, PLANS, AND DETAILS FOR QUESTIONS REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS, AND BEAM REQUIREMENTS. 8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION COORDINATION AND SUPERVISION. THE ARCHITECT WILL PERIODICALLY OBSERVE THE PROGRESS OF CONSTRUCTION, BUT WITHOUT UNDERTAKING TO PROVIDE CONSTRUCTION SUPERVISION, SOLELY FOR THE PURPOSE OF DETERMINING DESIGN CONSISTENCY. 9. THE GENERAL CONTRACTOR IS TO COORDINATE WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT MANUFACTURER'S PRINTED INFORMATION IS MORE DETAILED AND/OR STRINGENT THAN REQUIREMENTS CONTAINED DIRECTLY IN THE CONSTRUCTION DOCUMENTS. 10. IF IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT ALL WORK BE PERFORMED IN A SOUND MANNER PROVIDING A COMPLETED PROJECT WITH MATERIALS, ASSEMBLIES, AND SYSTEMS CORRECTLY INSTALLED AND PERFORMING IN A MANNER CONSISTENT WITH THE COMMON STANDARDS ON THE INDUSTRY FOR THIS TYPE OF PROJECT. A. CONSTRUCTION DOCUMENTS INCLUDE, BUT ARE NOT LIMITED TO, WORKING DRAWINGS, SPECIFICATIONS, STRUCTURAL CALCULATIONS, STATE MANDATED ENERGY CALCULATIONS AND NOTES, SOILS REPORT, GEOLOGY REPORT, ACOUSTICAL ENGINEERING REPORT, ACOUSTICAL AND CHIMNEY ORDERS, AND THESE GENERAL REQUIREMENTS UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS. 11. GENERAL CONTRACTOR AND SUBCONTRACTORS RECOGNIZE THAT THE ARCHITECT CANNOT PREPARE PLANS AND DRAWINGS THAT COVER ALL CONCEIVABLE CONSTRUCTION DETAILS OR SITE CONDITIONS. 12. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY ARCHITECT IN WRITING OF ANY MISSING DETAILS AND/OR CORRECTIONS WHICH ARE BELIEVED BY THEM TO BE NECESSARY AND/OR APPROPRIATE FOR THE PROPER CONSTRUCTION OF THE PROJECT AND THAT WOULD NOT NORMALLY BE THEIR RESPONSIBILITY UNDER COMMON INDUSTRY PRACTICES AND TECHNIQUES. 13. TERMINOLOGY, ABBREVIATIONS, AND SYMBOLS USED IN THE CONSTRUCTION DOCUMENTS ARE THOSE RECOGNIZED IN THE CONSTRUCTION INDUSTRY FOR THE PURPOSES OF THE CONTRACT AND HAVE BEEN USED BY THE ARCHITECT OR STRUCTURAL ENGINEER. PUBLICATIONS DO NOT ADEQUATELY DEFINE ANY GIVEN TERM, THE DEFINITIONS FOUND IN WRITERS UNABRIDGED DICTIONARY OF THE AMERICAN LANGUAGE WILL GOVERN. REFER UNCERTAINTIES TO ARCHITECT BEFORE PROCEEDING. 14. GENERAL CONTRACTOR SHALL ARRANGE FOR ALL TESTING AND INSPECTING REQUIRED BY THE CONSTRUCTION DOCUMENTS, LOCAL BUILDING DEPARTMENT, DRAGAGE AND HEALTH DEPARTMENTS, AND ALL OTHER AGENCIES HAVING JURISDICTION OVER THE PROJECT. 15. PRODUCTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS BY MANUFACTURER, MAKE, BRAND, MODEL, AND/OR OTHER DESIGNATION ARE PROJECT REQUIREMENTS, UNLESS SPECIFICALLY NOTED OTHERWISE. SUBSTITUTIONS OF ACCEPTABLE EQUALS ARE PERMITTED ONLY WITH PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND OWNER. SELECTION OF PRODUCTS WHICH COMPLY WITH REQUIREMENTS INCLUDING APPLICABLE STANDARDS IS THE GENERAL CONTRACTOR'S OPTION WHERE NO PRODUCTS ARE SPECIFIED IN THE CONSTRUCTION DOCUMENTS. ARCHITECT OR OWNER, GENERAL CONTRACTOR AND/OR SUBCONTRACTOR SHALL BEAR ALL RESPONSIBILITY FOR PRODUCTS WHICH DO NOT MEET ALL REQUIREMENTS. 16. WHERE CONSTRUCTION DOCUMENTS CONFLICT WITH CODES, THE MORE STRINGENT SHALL APPLY. 17. NO CHANGES ARE TO BE MADE ON THESE CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER WHOSE SIGNATURE APPEARS HEREON. APPROVAL BY CITY AND/OR COUNTY BUILDING INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS AND SPECIFICATIONS. 18. ALL REVISIONS TO AND/OR CHANGES IN THE SCOPE OF WORK DESCRIBED BY THESE CONSTRUCTION DOCUMENTS SHALL BE BY WRITTEN CHANGE ORDER ONLY. GENERAL CONTRACTOR SHALL SECURE THE BUILDING OFFICIALS' APPROVAL FOR ANY SUCH CHANGES IN THE WORK. 19. GENERAL CONTRACTOR SHALL SECURE ALL REQUIRED BUILDING PERMITS AND APPROVALS THROUGHOUT CONSTRUCTION AND OCCUPANCY. 20. ALL CLEAR DIMENSIONS ARE REQUIRED TO BE EXACT WITHIN +/- TOLERANCE ALONG THE FULL HEIGHT AND WIDTH ON WALLS, DOORS AND/OR CORRECTIONS WHICH ARE BELIEVED BY THEM TO BE NECESSARY AND/OR APPROPRIATE FOR THE PROPER INSTRUCTION FROM THE ARCHITECT.

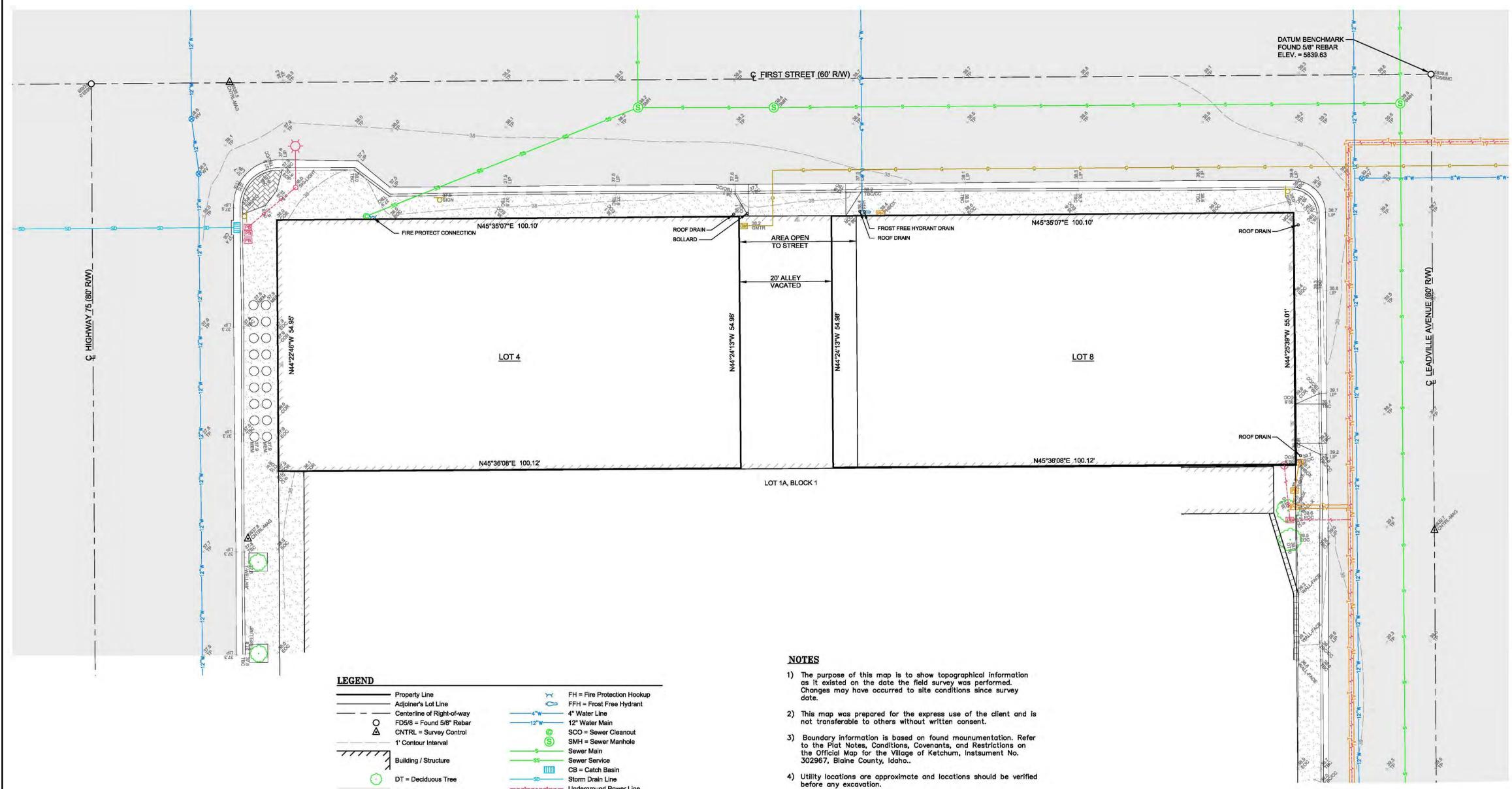
Argyros Performing Arts Center 120 South Main Street, Ketchum Lot 4, Block 1; West 10' of Alley AND Ketchum Lot 8, Block 1; East 10' of Alley Ketchum, Idaho

Table for PRINT RECORD with columns for PURPOSE and DATE.

Table for REVISION RECORD with columns for NO., CHANGE, and DATE.

DRAWN: BMM CHECKED: MRD DATE: 02/02/17 SHEET TITLE: TITLE SHEET

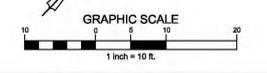
Logo for Michael Doty Associates Architects, including contact information: PO Box 2792 371 Washington Avenue North Ketchum, ID 83340 (208) 726-4228 www.mda-arc.com



LEGEND

—	Property Line	—	FH = Fire Protection Hookup
—	Adjoiner's Lot Line	—	FFH = Frost Free Hydrant
—	Centerline of Right-of-way	—	4" Water Line
—	FD5/8 = Found 5/8" Rebar	—	12" Water Main
△	CNTRL = Survey Control	—	SCO = Sewer Cleanout
—	1' Contour Interval	—	SMH = Sewer Manhole
▭	Building / Structure	—	Sewer Main
○	DT = Deciduous Tree	—	Sewer Service
▭	Asphalt	—	CB = Catch Basin
▭	Concrete Sidewalk	—	Storm Drain Line
▭	Pavers	—	Underground Power Line
▭	Landscape Wall	—	Underground Television Line
○	SGN = Sign	—	Gas Main
○	PWRMTR = Power Meter	—	Underground Television Line
○	SIG-LIGHT = Turn Signal Light	—	CC = Curb Cut
○	PBOX* = Handhole Power Box	—	EOC = Edge of Concrete
○	PHBOX = Telephone Riser	—	EOP = Edge of Pavers
○	GMTR = Gas Meter	—	LIP = Lip of Gutter
		—	MEM = Memorabilia in Concrete
		—	TBC = Top Back of Curb
		—	TP = Top of Pavement

- NOTES**
- 1) The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date.
 - 2) This map was prepared for the express use of the client and is not transferable to others without written consent.
 - 3) Boundary information is based on found monumentation. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on the Official Map for the Village of Ketchum, Instrument No. 302967, Blaine County, Idaho.
 - 4) Utility locations are approximate and locations should be verified before any excavation.
 - 5) Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.



A PARTIAL TOPOGRAPHIC MAP SHOWING
LOTS 4 AND 8, BLOCK 1, KETCHUM (NEXTSTAGE THEATER)
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR SUN VALLEY PERFORMING ARTS CENTER
 PROJECT INFORMATION
 FILE: galena\2016\topo\topo\18topo\18topo.dwg 10/05/16 4:11:11 PM MDT
 SHEET 1 OF 1

DESIGNED BY: FB-16/04/14 DATE: 10/05/16
 DRAWN BY: SMF DATE: 10/05/16
 CHECKED BY: DATE: 10/05/16

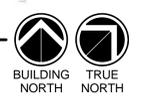
RELEASE OF DRAWINGS
 These drawings are prepared based on information provided by the client. Galena Engineering, Inc. shall not be held responsible for any errors or omissions or extensions of this project except by Galena Engineering, Inc.

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 788-4612 fax
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

TOPO

EXISTING TOPOGRAPHY / SURVEY

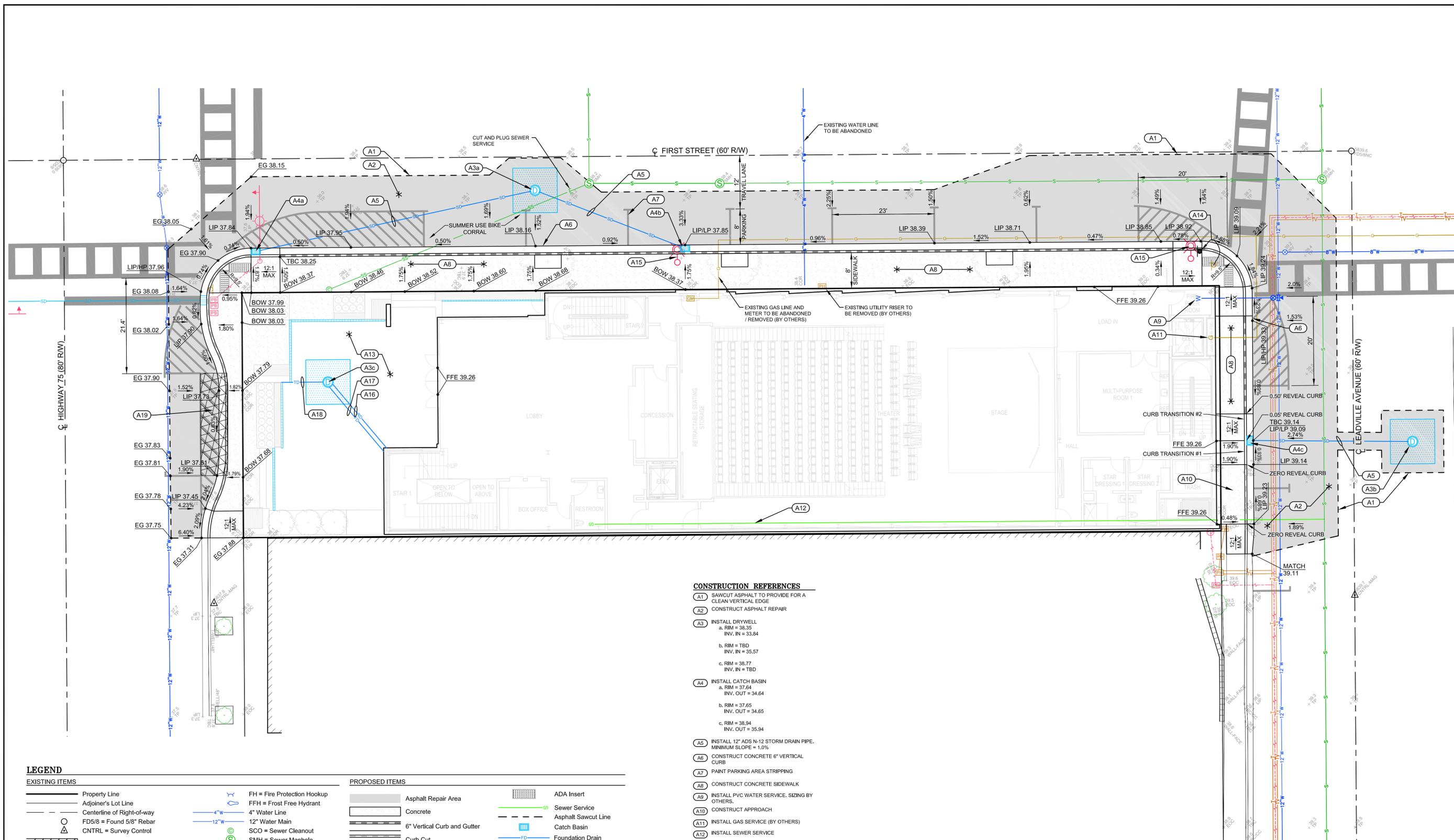


ARGYROS PERFORMING ARTS CENTER
 KETCHUM, IDAHO

CITY OF KETCHUM DESIGN REVIEW SUBMITTAL
 FEBRUARY 02, 2017



NO	DATE	BY	REVISIONS
1	02/01/17	CT	Issue for design review



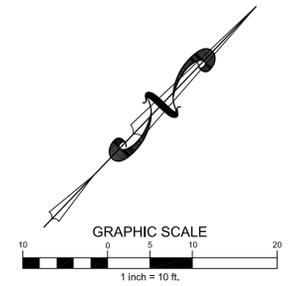
CONSTRUCTION REFERENCES

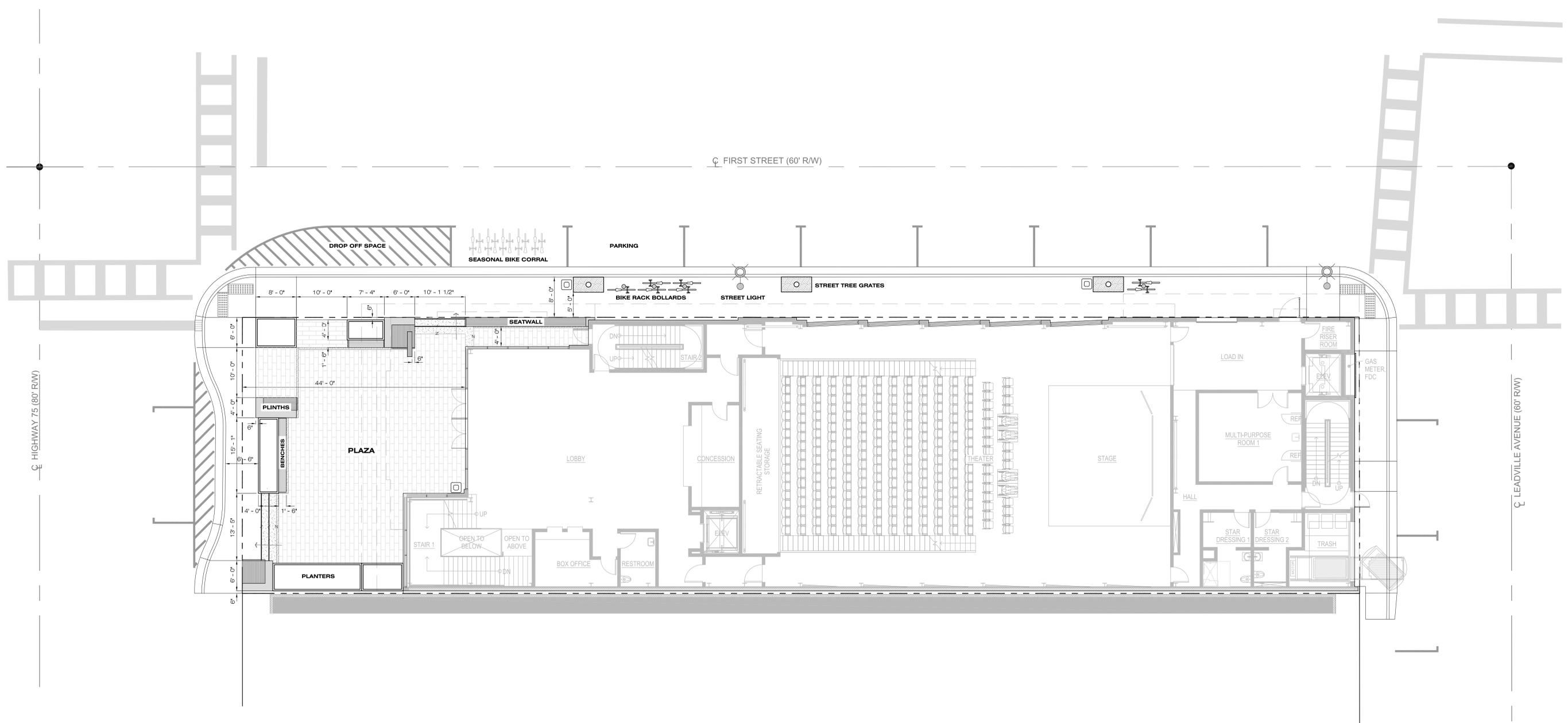
- (A1) SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE
 - (A2) CONSTRUCT ASPHALT REPAIR
 - (A3) INSTALL DRYWELL
 - a. RIM = 38.35
INV. IN = 33.64
 - b. RIM = TBD
INV. IN = 35.57
 - c. RIM = 38.77
INV. IN = TBD
 - (A4) INSTALL CATCH BASIN
 - a. RIM = 37.64
INV. OUT = 34.64
 - b. RIM = 37.65
INV. OUT = 34.65
 - c. RIM = 38.94
INV. OUT = 35.94
 - (A5) INSTALL 12" ADS N-12 STORM DRAIN PIPE. MINIMUM SLOPE = 1.0%
 - (A6) CONSTRUCT CONCRETE 6" VERTICAL CURB
 - (A7) PAINT PARKING AREA STRIPPING
 - (A8) CONSTRUCT CONCRETE SIDEWALK
 - (A9) INSTALL PVC WATER SERVICE. SIZING BY OTHERS.
 - (A10) CONSTRUCT APPROACH
 - (A11) INSTALL GAS SERVICE (BY OTHERS)
 - (A12) INSTALL SEWER SERVICE
 - (A13) CONSTRUCT PLAZA PER LANDSCAPE ARCHITECTURAL PLAN
 - (A14) RELOCATE EXISTING SIGN
 - (A15) INSTALL CITY OF KETCHUM APPROVED STREET LIGHT
 - (A16) INSTALL ROOF DRAIN CONNECTION
 - (A17) INSTALL FOUNDATION DRAIN CONNECTION
 - (A18) INSTALL TRENCH DRAIN CONNECTION
 - (A19) CONSTRUCT SNOWMELT AREA
- (A) MATCH EXISTING LINES AND GRADES

LEGEND

EXISTING ITEMS	<ul style="list-style-type: none"> Property Line Adjoiner's Lot Line Centerline of Right-of-way FD5/8 = Found 5/8" Rebar CNTRL = Survey Control Building / Structure DT = Deciduous Tree Landscape Wall SGN = Sign PWRMTR = Power Meter SIG-LIGHT = Turn Signal Light PBOX* = Handhole Power Box PHBOX = Telephone Riser GMTR = Gas Meter 	<ul style="list-style-type: none"> FH = Fire Protection Hookup FFH = Frost Free Hydrant 4" = 4" Water Line 12" = 12" Water Main SCO = Sewer Cleanout SMH = Sewer Manhole Sewer Main CB = Catch Basin SD = Storm Drain Line Underground Power Line Underground Television Line Gas Main Underground Television Line 	<ul style="list-style-type: none"> Asphalt Repair Area Concrete 6" Vertical Curb and Gutter Curb Cut Curb Transition Gas Service Water Service Water Main Fitting Thrust Block Water Valve Drywell 	<ul style="list-style-type: none"> ADA Insert Sewer Service Asphalt Sawcut Line Catch Basin Foundation Drain Connection Roof Drain Connection Storm Drain Trench Drain Connection Street Light Sign Snowmelt Area
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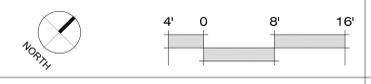
PRELIMINARY
DESIGN REVIEW ONLY





- GENERAL NOTES**
1. DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
 2. REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
 3. REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
 4. REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
 5. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY BLAINE COUNTY, IDAHO.

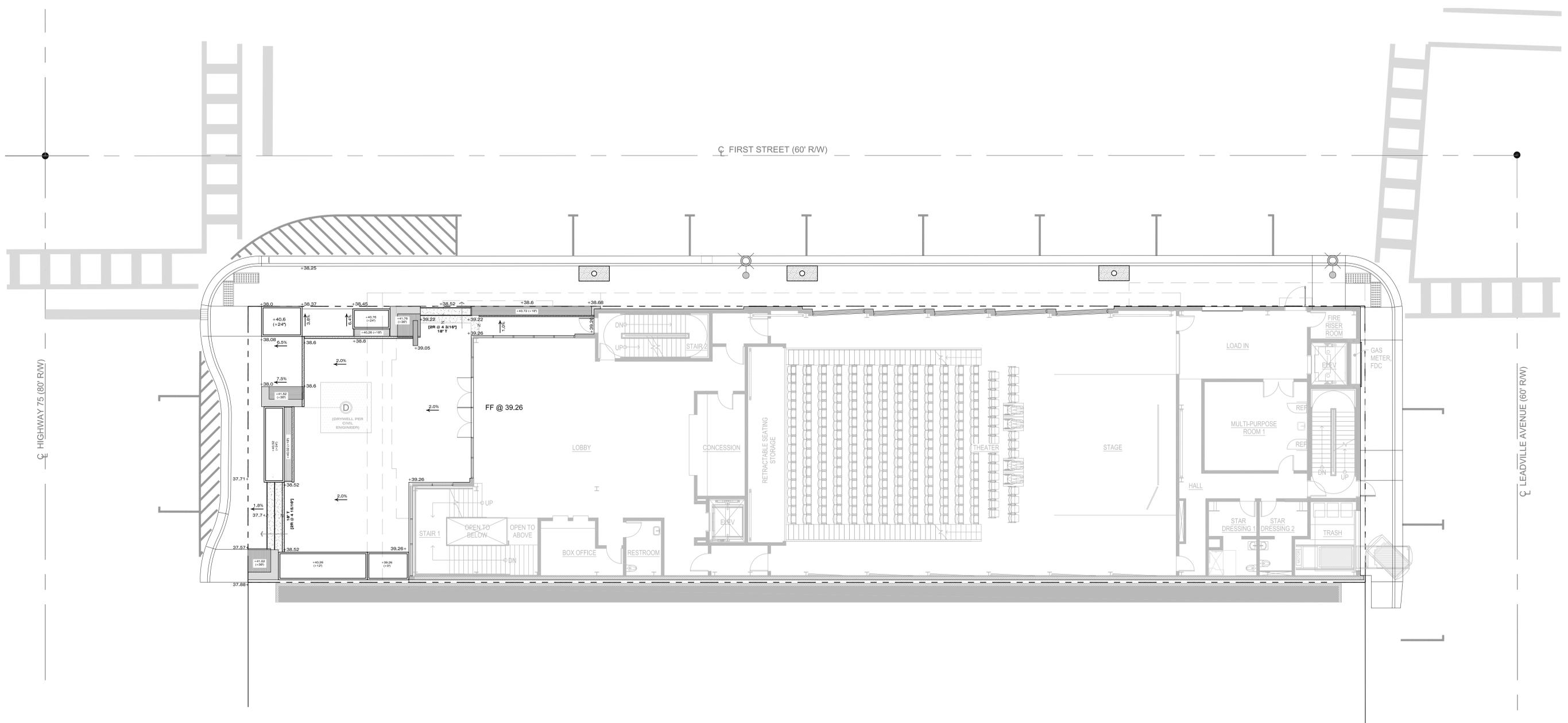
SITE PLAN
 SCALE: 1/8" = 1'-0"



ARGYROS PERFORMING ARTS CENTER
 LOTS 4 & 8, BLOCK 1
 120 NORTH MAIN STREET
 KETCHUM, IDAHO

DATE: 02/02/2017
 DESIGN REVIEW

OWNERSHIP OF DOCUMENTS: THIS ELECTRONIC DOCUMENT AND THE CONTENTS CONTAINED THEREON (I.E. DESIGNS, CONCEPTS, AND GRAPHIC SYMBOLS) ARE THE PROPERTY OF CLEMENS ASSOCIATES LLC, AND SHALL NOT BE USED IN WHOLE OR IN PART, BY ANY OTHER PERSON OR PERSONS WITHOUT THE WRITTEN AUTHORIZATION OF CLEMENS ASSOCIATES LLC.

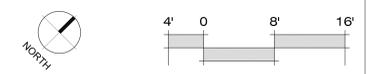


- GRADING + DRAINAGE NOTES:**
1. ALL SITE INFORMATION IS APPROXIMATE ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION. ALL ELEVATIONS TO BE FIELD VERIFIED ACCORDINGLY.
 2. REFER TO GEOTECH REPORT FOR INFORMATION REGARDING SOIL AND SUB-SURFACE CONDITIONS. UNFORSEEN SOIL OR SUB-SURFACE CONDITIONS (INCLUDING BEDROCK, POOR SOIL STRUCTURE, SUB-SURFACE WATER, UTILITIES, ETC.) MAY REQUIRE FIELD ADJUSTMENTS TO THE PROPOSED DESIGN INCLUDING GRADING AND DRAINAGE SYSTEMS.
 3. PROPOSED WORK TO INCORPORATE ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMPs) TO PROTECT RESOURCE VALUES AND TO ENSURE COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS AND WATER QUALITY STANDARDS.
 4. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
 5. FINISH GRADE TO SLOPE AWAY FROM BUILDING IN ALL CASES, AND DIRECTED TO DRAINAGE PATTERNS OR SYSTEMS PER CIVIL ENGINEERING PLANS AND SPECIFICATIONS



GRADING PLAN
SCALE: 1/8" = 1' -0"

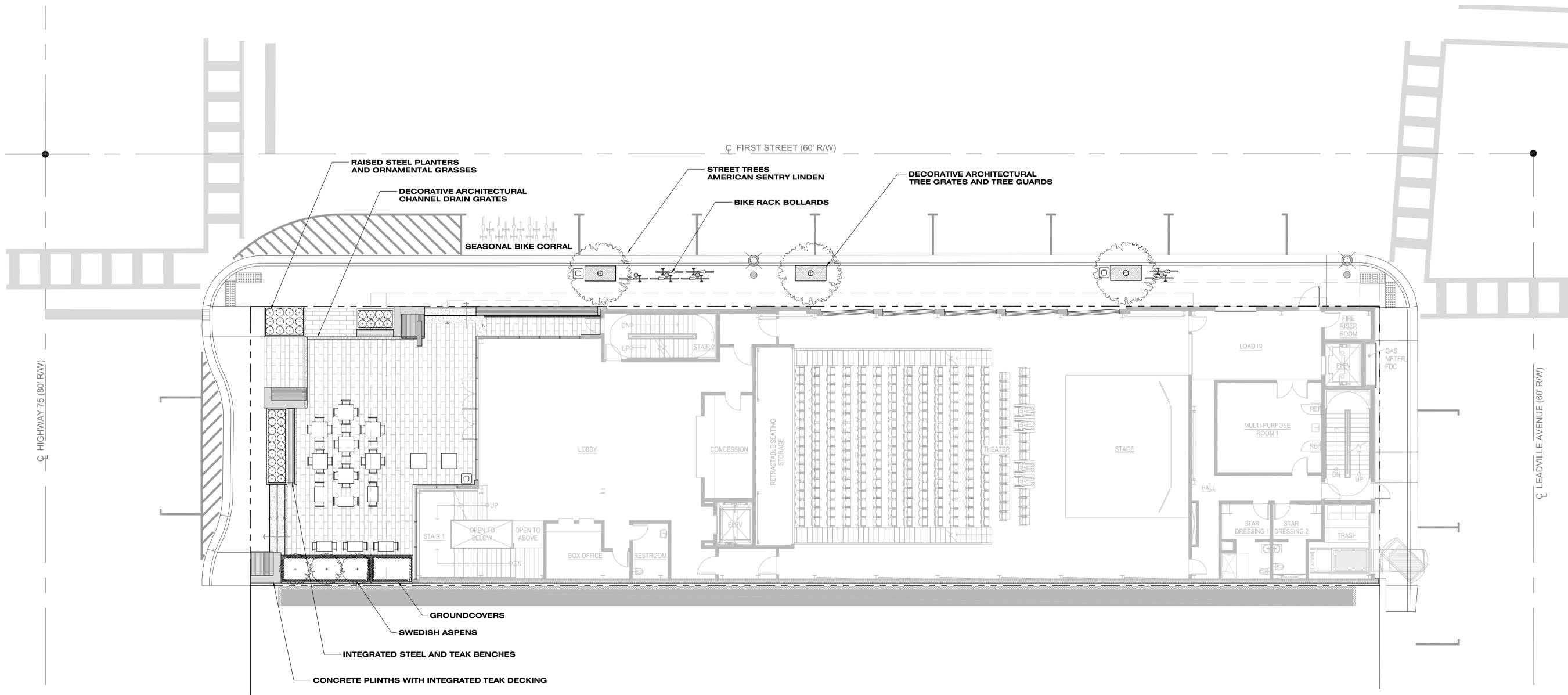
OWNERSHIP OF DOCUMENTS: THIS ELECTRONIC DOCUMENT AND THE CONTENTS CONTAINED THEREON (I.E. DESIGNS, CONCEPTS, AND GRAPHIC SYMBOLS) ARE THE PROPERTY OF CLEMENS ASSOCIATES LLC, AND SHALL NOT BE USED IN WHOLE OR IN PART, BY ANY OTHER PERSON OR PERSONS WITHOUT THE WRITTEN AUTHORIZATION OF CLEMENS ASSOCIATES LLC.



ARGYROS PERFORMING ARTS CENTER

LOTS 4 & 8, BLOCK 1
120 NORTH MAIN STREET
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DATE: 02/02/2017
DESIGN REVIEW



PLAZA OVERVIEW



SWEDISH ASPEN



LINDEN TREE



AUTUMN MOOR GRASS



BLACKENED STEEL RAISED PLANTERS



BIKE BOLLARD



BRISTOL GRANITE WITH ADZE FINISH LAID IN RUNNING BOND PATTERN



ON SITE WASTE/RECYCLE BIN



ARCHITECTURAL TREE GRATE



CONCRETE PLINTHS WITH INTEGRATED WOOD DECKING



CONCEALED LED DOWNLIGHTING

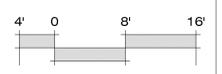


DECORATIVE ARCHITECTURAL DRAIN GRATE



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

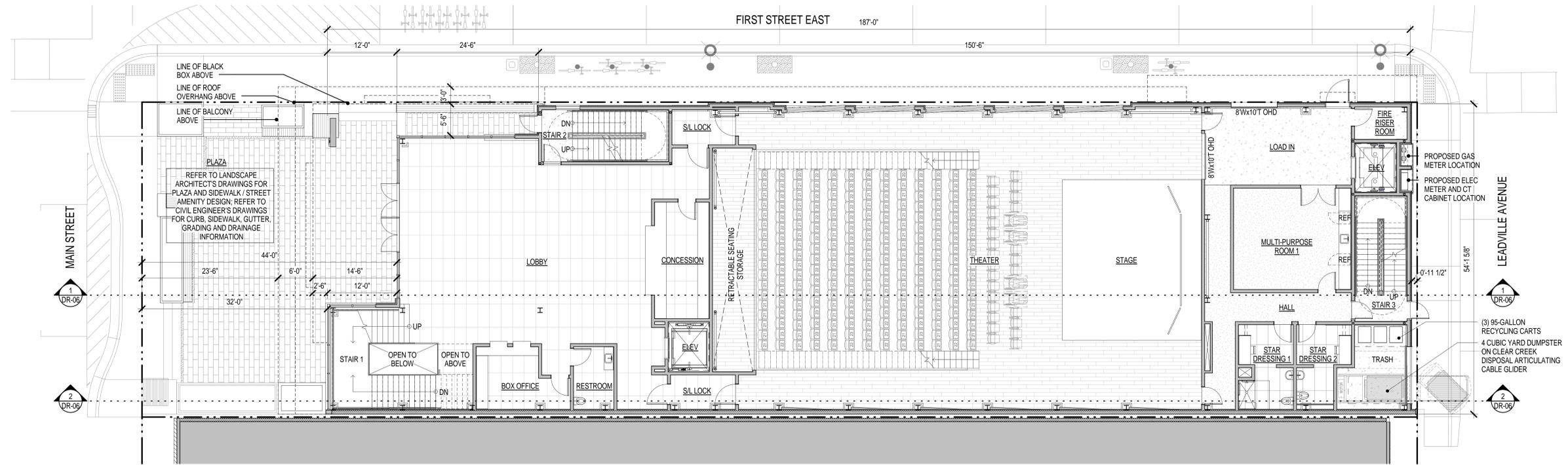


ARGYROS PERFORMING ARTS CENTER

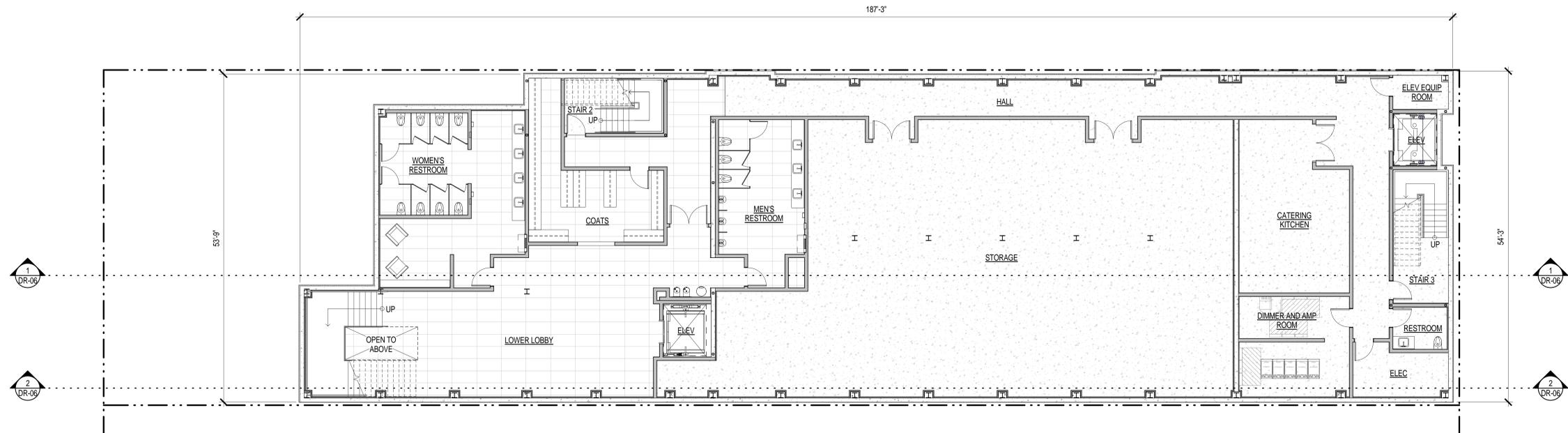
LOTS 4 & 8, BLOCK 1
120 NORTH MAIN STREET
KETCHUM, IDAHO

DATE: 02/02/2017
DESIGN REVIEW

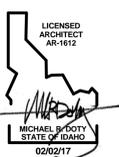
OWNERSHIP OF DOCUMENTS: THIS ELECTRONIC DOCUMENT AND THE CONTENTS CONTAINED THEREON (I.E. DESIGNS, CONCEPTS, AND GRAPHIC SYMBOLS) ARE THE PROPERTY OF CLEMENS ASSOCIATES LLC, AND SHALL NOT BE USED IN WHOLE OR IN PART, BY ANY OTHER PERSON OR PERSONS WITHOUT THE WRITTEN AUTHORIZATION OF CLEMENS ASSOCIATES LLC.



PROPOSED FIRST FLOOR PLAN



PROPOSED BASEMENT FLOOR PLAN

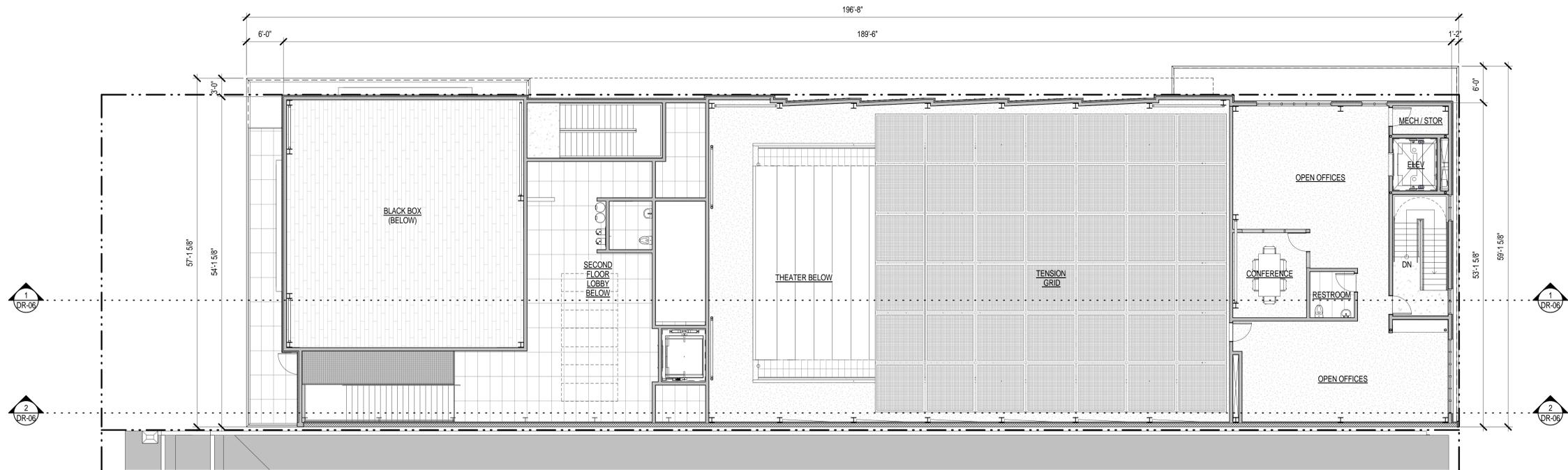


ARGYROS PERFORMING ARTS CENTER

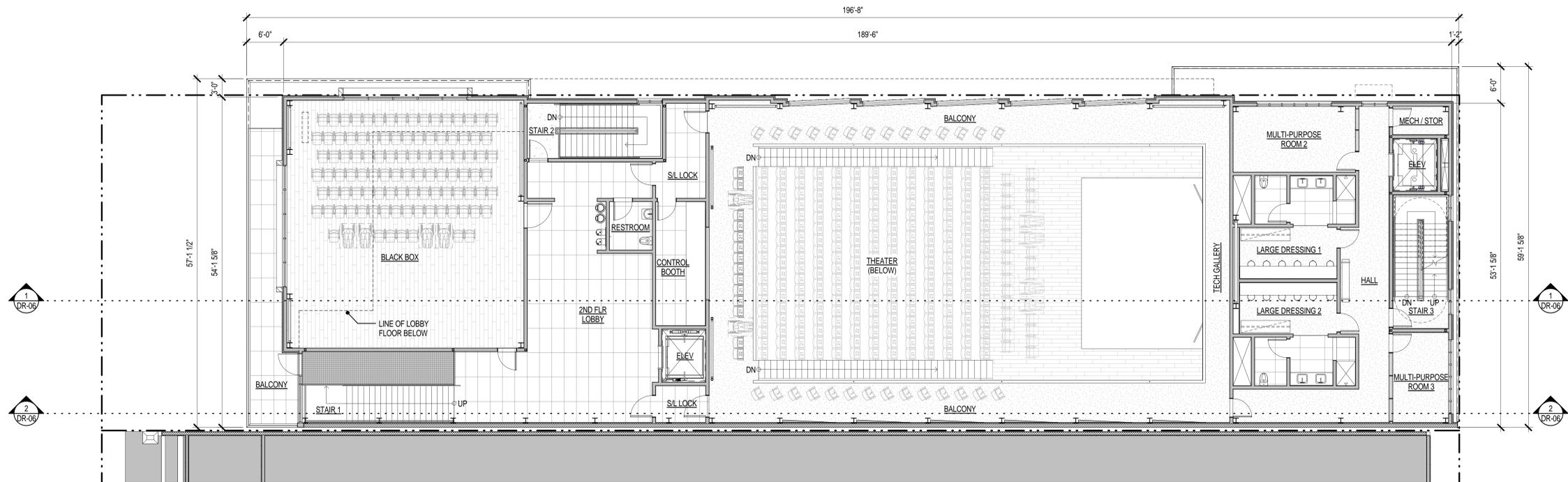
KETCHUM, IDAHO

CITY OF KETCHUM DESIGN REVIEW SUBMITTAL
FEBRUARY 02, 2017





PROPOSED THIRD FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

1/8" = 1'-0"

BUILDING NORTH TRUE NORTH

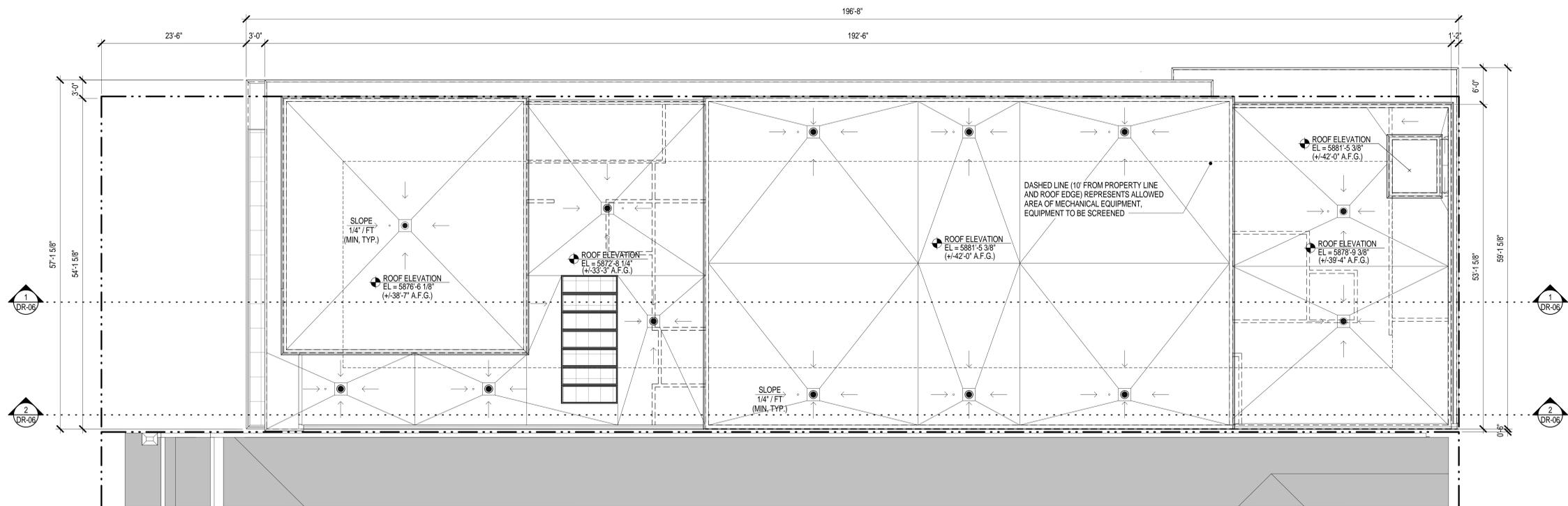
MICHAEL DOLY ARCHITECT
STATE OF IDAHO
02/02/17

ARGYROS PERFORMING ARTS CENTER

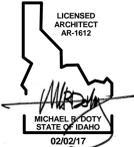
KETCHUM, IDAHO

CITY OF KETCHUM DESIGN REVIEW SUBMITTAL
FEBRUARY 02, 2017





PROPOSED ROOF PLAN

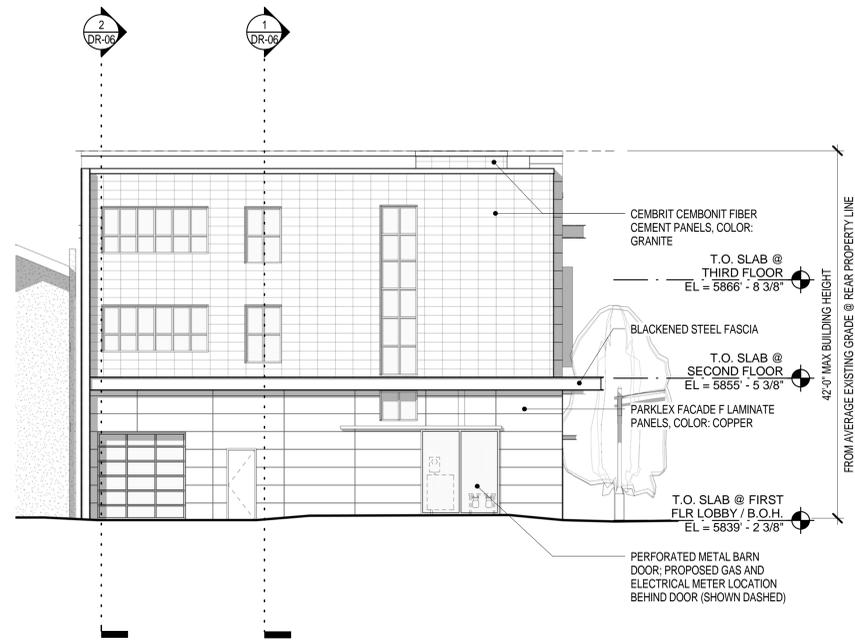


ARGYROS PERFORMING ARTS CENTER

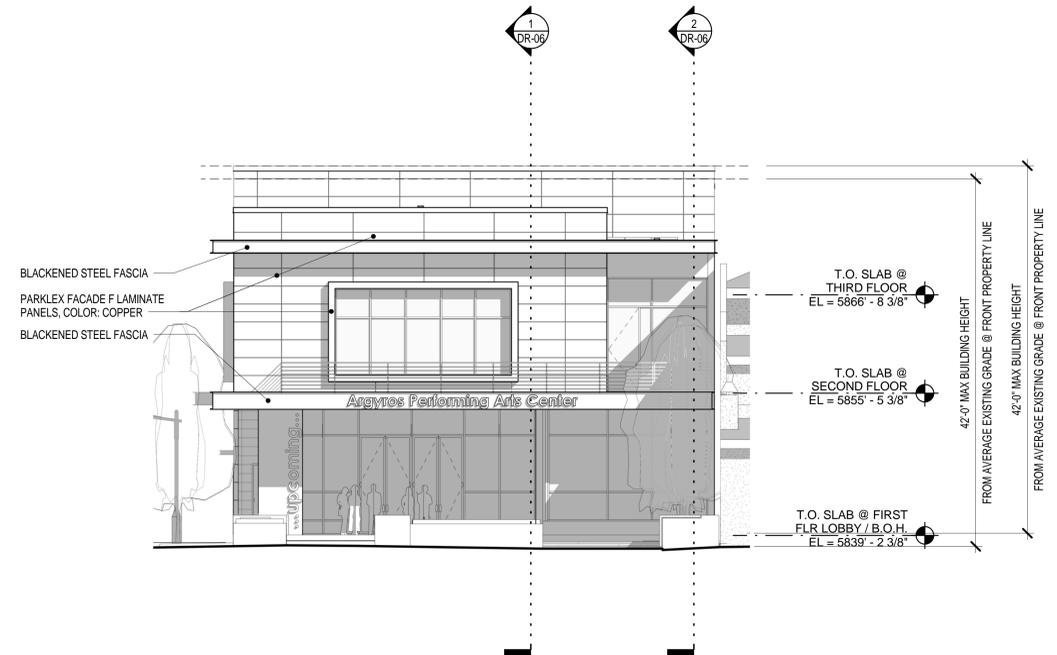
KETCHUM, IDAHO

CITY OF KETCHUM DESIGN REVIEW SUBMITTAL
FEBRUARY 02, 2017

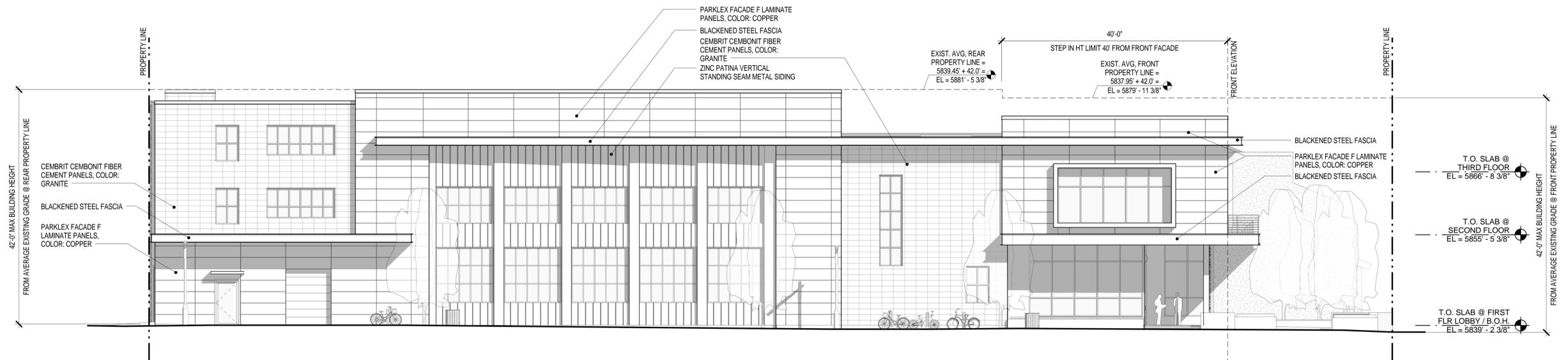




PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION

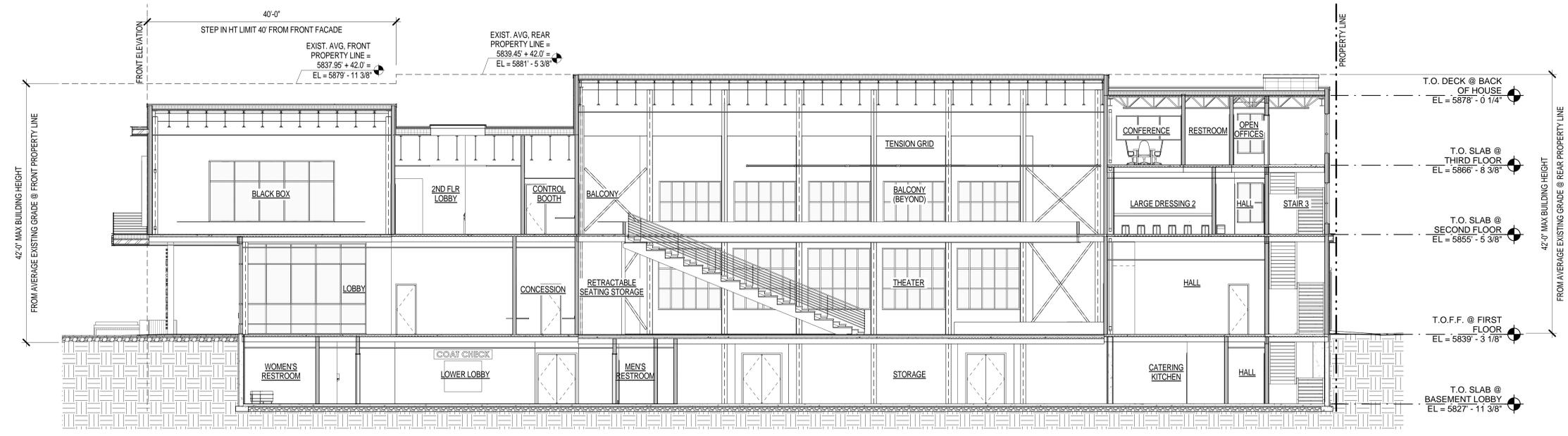


ARGYROS PERFORMING ARTS CENTER

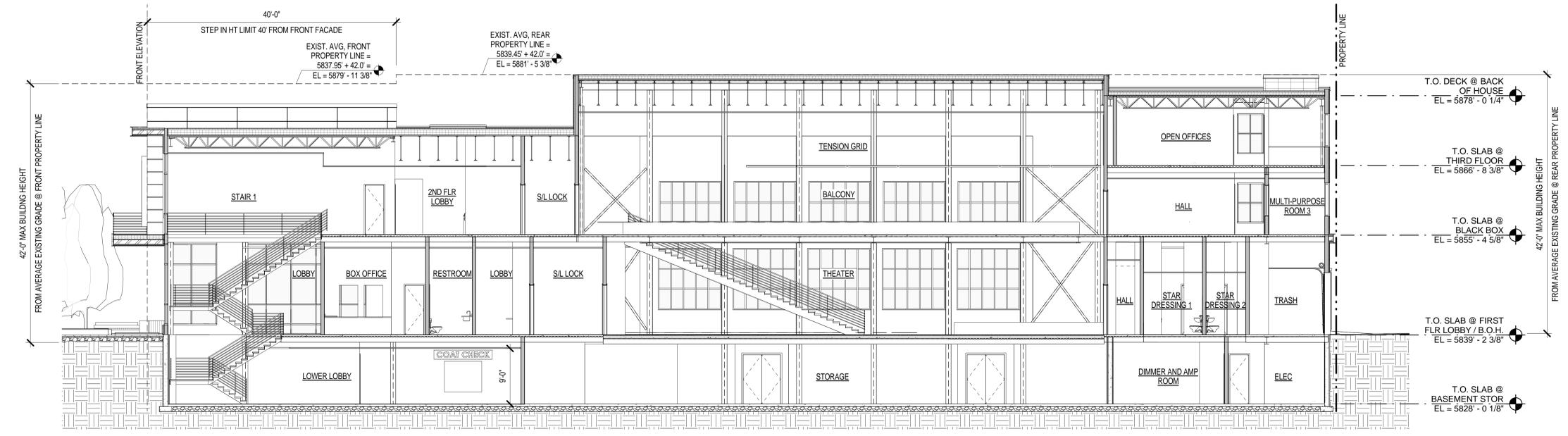
KETCHUM, IDAHO

CITY OF KETCHUM DESIGN REVIEW SUBMITTAL
FEBRUARY 02, 2017





PROPOSED BUILDING SECTION 'A'

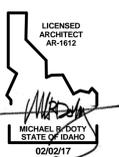


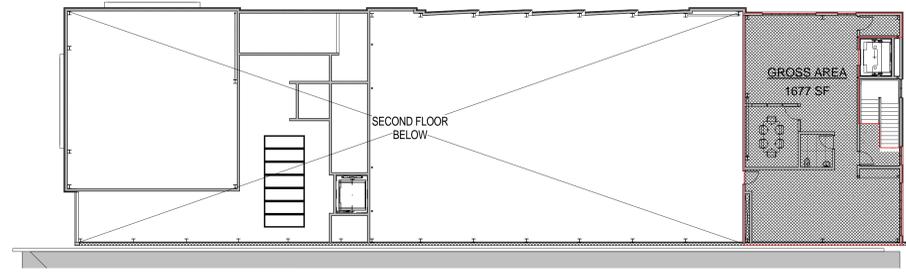
PROPOSED BUILDING SECTION 'B'

ARGYROS PERFORMING ARTS CENTER

KETCHUM, IDAHO

CITY OF KETCHUM DESIGN REVIEW SUBMITTAL
 FEBRUARY 02, 2017



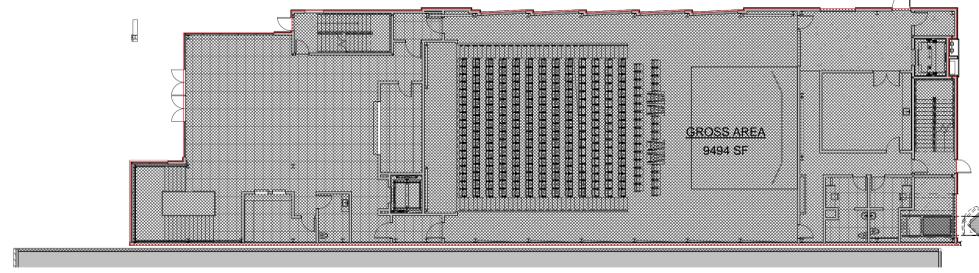


THIRD FLOOR GROSS SQUARE FOOTAGE DIAGRAM

1/16" = 1'-0"



TRUE NORTH

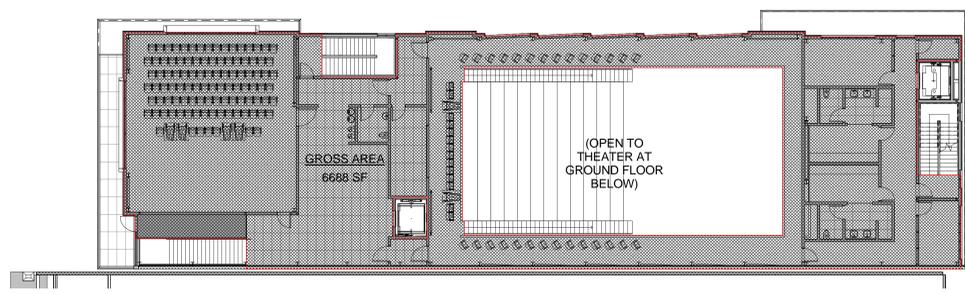


MAIN FLOOR GROSS SQUARE FOOTAGE DIAGRAM

1/16" = 1'-0"



TRUE NORTH

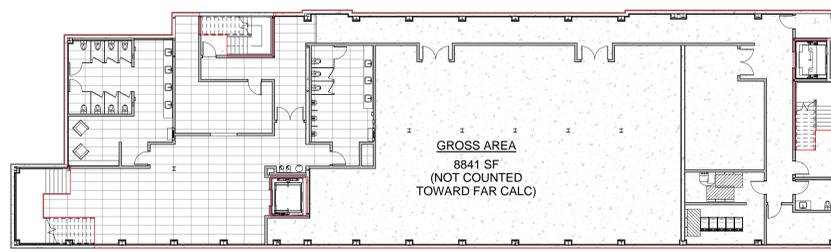


SECOND FLOOR GROSS SQUARE FOOTAGE DIAGRAM

1/16" = 1'-0"

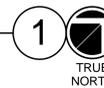


TRUE NORTH



BASEMENT FLOOR GROSS SQUARE FOOTAGE DIAGRAM

1/16" = 1'-0"



TRUE NORTH

F.A.R. CALCS

GROSS FLOOR AREA	
BASEMENT (NOT COUNTED TOWARDS FAR):	8,841 SF
MAIN FLOOR:	9,494 SF
SECOND FLOOR:	6,688 SF
THIRD FLOOR:	1,677 SF
TOTAL GROSS SQUARE FOOTAGE:	26,700 SF
TOTAL GSF TOWARDS F.A.R.:	17,859 SF

SITE AREA = 12,108 SF
 17,859 SF / 12,108 SF = 1.47 F.A.R.
 17,859 SF - 12,108 SF = 5,751 SF OVER 1.0 F.A.R.

- F.A.R. CALC NOTES:
1. BASEMENT AREAS NOT CALC'D.
 2. AREAS CALC'D TO OUTSIDE FACE OF EXTERIOR WALLS AND TO EDGE OF FLOOR AT DOUBLE-HEIGHT SPACE.
 3. STAIRS, ELEVATORS AND MECHANICAL CHASES CALC'D ON MAIN FLOOR ONLY.



ARGYROS PERFORMING ARTS CENTER

KETCHUM, IDAHO

CITY OF KETCHUM DESIGN REVIEW SUBMITTAL
 FEBRUARY 02, 2017





Paul Stoops Associates

Post Office Box 1130
 Halley, ID 83333
 Tel: (208) 788-8993
 Fax: (208) 788-7634
 email: paul@psa-assoc.com

**Argyros Performing Arts Center
 Exterior Lighting Design Criteria**

ENTRY CANOPY

- High Activity
- Moderate Ambient Light
- Target illuminance: 20 lux*

LOADING DOCK

- Medium Activity
- Moderate Ambient Light
- Target illuminance: 10 lux*

OTHER DOORS

- Low Activity
- Low Ambient Light
- Target illuminance: 4 lux*

* Target average illuminance per IES recommendations, where at least half of observers are between 25 and 65 years of age.

ARCHITECTURAL LIGHTING DESIGN ♦ ELECTRICAL ENGINEERING

4" LED FIXTURE TYPE 'A'

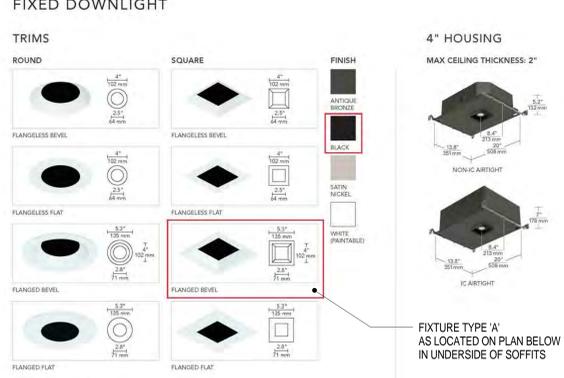


THIS SPECIFICATION GRADE LED DOWNLIGHT OFFERS HIGH PERFORMANCE WITH AN ARCHITECTURAL CEILING APPEARANCE. THIS SPECIFICATION GRADE LED DOWNLIGHT OFFERS A WIDE SELECTION OF LED MODULE OPTIONS TO ADDRESS DESIGN REQUIREMENTS IN THE SPACES IT ILLUMINATES.

- POWER / POWER SUPPLY**
- The ELEMENT 4" Series offers a selection of five LED modules, see chart on next page, or visit elementlighting.com for more details.
 - Consult Quotes Department for alternate or custom driver selections.
- TRIMS**
- Die cast aluminum with minimal thickness.
 - Available in flanged or flangeless ceiling appearance.
 - Lensed and shower aperture includes Solite™ soft focus lens at aperture.
 - White can be field painted to match adjacent finishes.
 - Accommodates up to 2.5" ceiling thickness, depending on trim.
- HOUSING**
- Airtight Non-IC: 13.75" x 20" x 5.2"
 - Airtight IC: 13.75" x 20" x 7"
 - IC suitable for insulation rating up to R60.
 - Constructed of heavy gauge cold rolled steel with durable matte black powder coat finish.
 - 4-1/2" ceiling opening, offset.
 - Includes integral junction box approved for branch circuit through wiring.
 - ETL listed, Damp listed, Shower version wet listed.
- INSTALLATION**
- Includes adjustable hanger bars. Includes butterfly brackets that attach to the side of the housing and are vertically adjustable with a wing nut.
 - Incorporates integral grommets for positioning with laser level or string.
 - 45° adjustable collar rotation after installation assures square trim are perfectly aligned.

Visit www.elementlighting.com for full photometrics.
GENERATION BRANDS
 ELEMNT by Tech Lighting®
 7400 Lindler Avenue, Skokie, Illinois 60077 T 847.410.4000 F 847.410.4000

4" LED FIXTURE TYPE 'A'



LED SOLUTIONS

LAMPING & OPTICS

	OPTIMA MAX OUTPUT WARM WHITE DIMMABLE	IC-IC WARM WHITE DIMMABLE	LUMINEX WARM WHITE DIMMABLE	LUMINEX COLD WHITE DIMMABLE
Output (Fixture Performance)	Min: 3300 / 2640	High: 2550 / 2040 Low: 1500 / 1200	80+ / 78+	90+
CRI	90+	90+	90+	90+
Color Temperature	2700-3000K	2700-3000K	2000K-1800K Warm Dim	1600K-4000K
Dimming	Down to 5%	Down to 5%	Down to 1%	Down to 1%
Dimming Type	ELV 0-10V, Hi-Lume	ELV 0-10V Lutron Hi-Lume	0-10V	0-10V, 2 sets
Beam Spread	18°, 25°	21°, 43°, 60°	21°, 43°, 60°	21°, 43°, 60°
Power Supply	Constant Current Driver	Constant Current Driver	30V DC Constant Voltage	30V DC Constant Voltage
Wattage	Max: 32 watts	High: 22 watts Low: 12 watts	24 watts / 22 watts	23 watts
Title 24	As 95 CRI			

Visit www.elementlighting.com for full photometrics.
GENERATION BRANDS
 ELEMNT by Tech Lighting®
 7400 Lindler Avenue, Skokie, Illinois 60077 T 847.410.4000 F 847.410.4000

4" LED FIXTURE TYPE 'A'

GRIDS

HOUSING

PROJECT	TRIM	CEILING	LAMP	TRIM	FUNCTION	HOUSING	REVERSE	STANDARD	120V/240V	120V/240V
ARGYROS PERFORMING ARTS CENTER	FLANGELESS BEVEL	FLANGELESS BEVEL	OPTIMA MAX OUTPUT WARM WHITE DIMMABLE	NON-IC AIRTIGHT						

TRIM

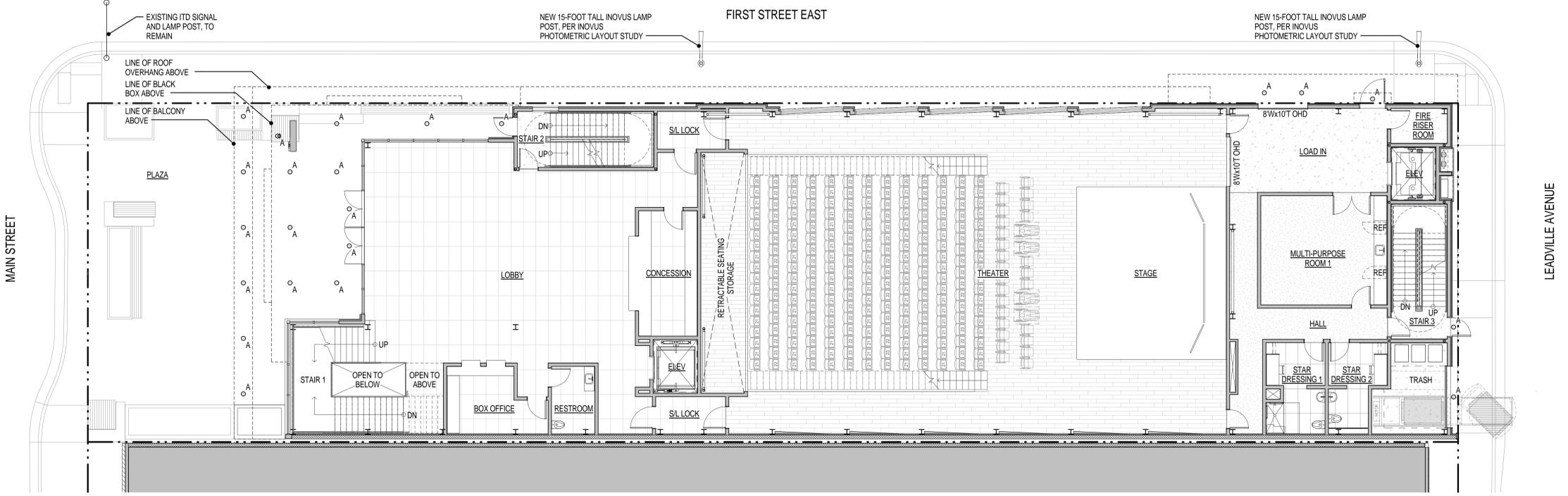
PROJECT	TRIM	CEILING	LAMP	TRIM	FUNCTION	HOUSING	REVERSE	STANDARD	120V/240V	120V/240V
ARGYROS PERFORMING ARTS CENTER	FLANGELESS BEVEL	FLANGELESS BEVEL	OPTIMA MAX OUTPUT WARM WHITE DIMMABLE	NON-IC AIRTIGHT						

PROJECT INFO

FIXTURE TYPE: _____ JOB NAME: _____

FIXTURE QUANTITY: _____ NOTES: _____

GENERATION BRANDS
 ELEMNT by Tech Lighting®
 7400 Lindler Avenue, Skokie, Illinois 60077 T 847.410.4000 F 847.410.4000



PROPOSED EXTERIOR LIGHTING PLAN

ARGYROS PERFORMING ARTS CENTER
 KETCHUM, IDAHO

CITY OF KETCHUM DESIGN REVIEW SUBMITTAL
 FEBRUARY 02, 2017



VILLAGE MARKET

CL FIRST STREET EAST
(60' RIGHT OF WAY)

SNOWMELT WITHIN
RIGHT-OF-WAY

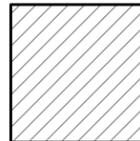
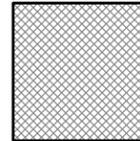
SNOWMELT ON SITE

CL MAIN STREET
(80' RIGHT OF WAY)

CL LEADVILLE AVENUE
(60' RIGHT OF WAY)

KENTWOOD HOTEL

KEY - EXTENT OF SNOWMELT

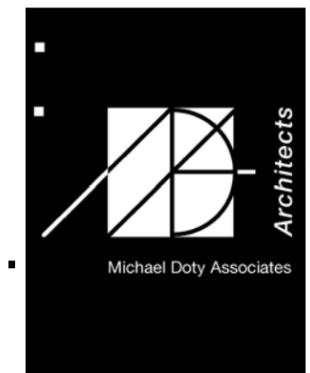
	EXTENT OF SNOWMELT ON SITE (NO ENCROACHMENT) - SHOWN WITH DIAGONAL HATCH		EXTENT OF SNOWMELT WITHIN RIGHT-OF-WAY (ENCROACHMENT) - SHOWN WITH CROSS HATCH
---	--	---	---

Argyros Performing Arts Center

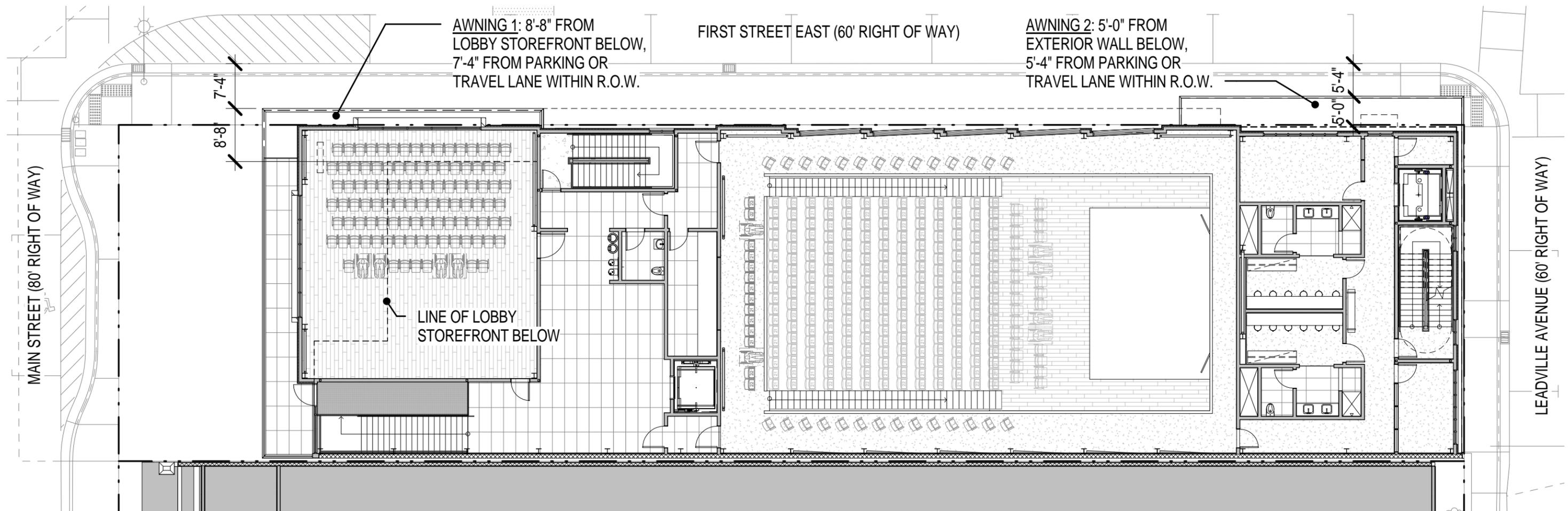
01/28/17

SNOWMELT ENCROACHMENTS - DIAGRAM 1 OF 4

SCALE: 3/64" = 1' - 0"



© Michael Doty Associates, Architects PC

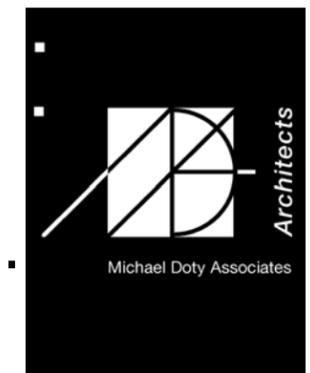


Argyros Performing Arts Center

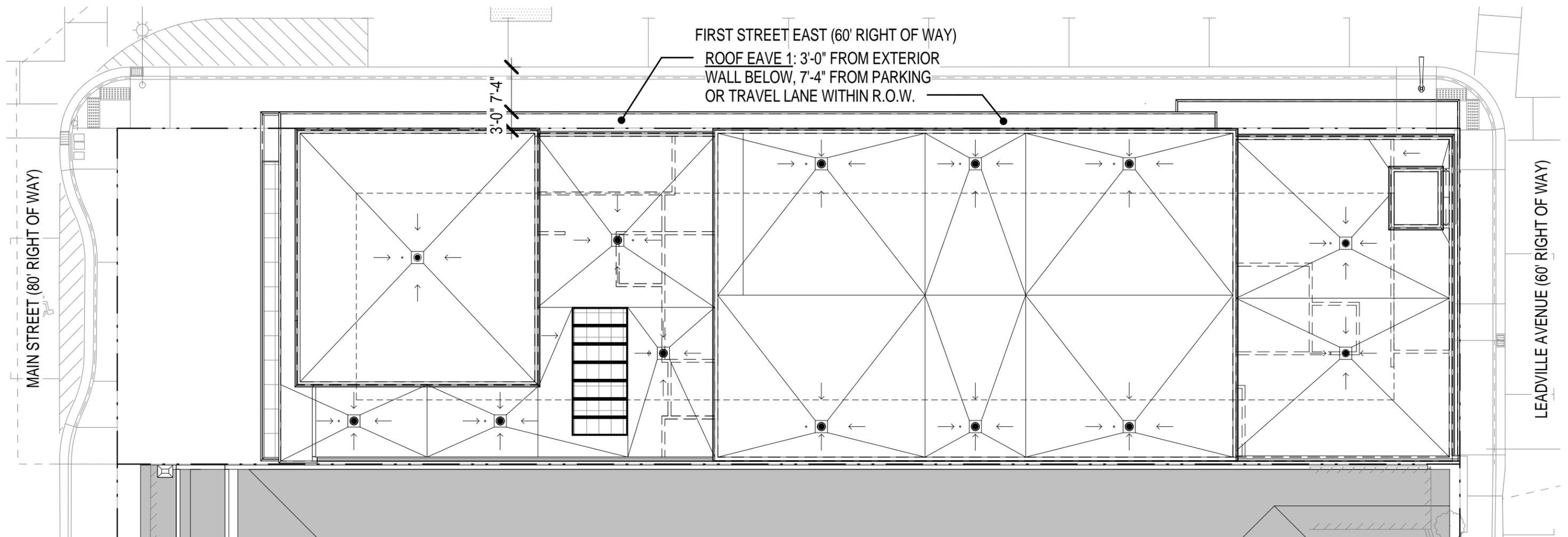
AWNING ENCROACHMENTS - DIAGRAM 2 OF 4

01/28/17

SCALE: 3/32" = 1'-0"



© Michael Doty Associates, Architects PC



Argynos Performing Arts Center

ROOF EAVE ENCROACHMENTS - DIAGRAM 3 OF 4

SCALE: 1/16" = 1'-0"

01/26/17

12 4 8





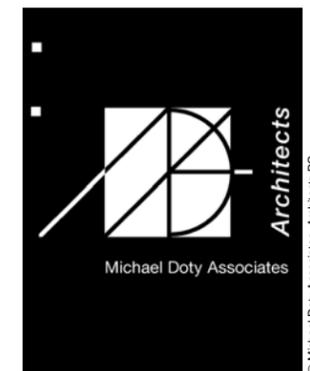
Argynos Performing Arts Center

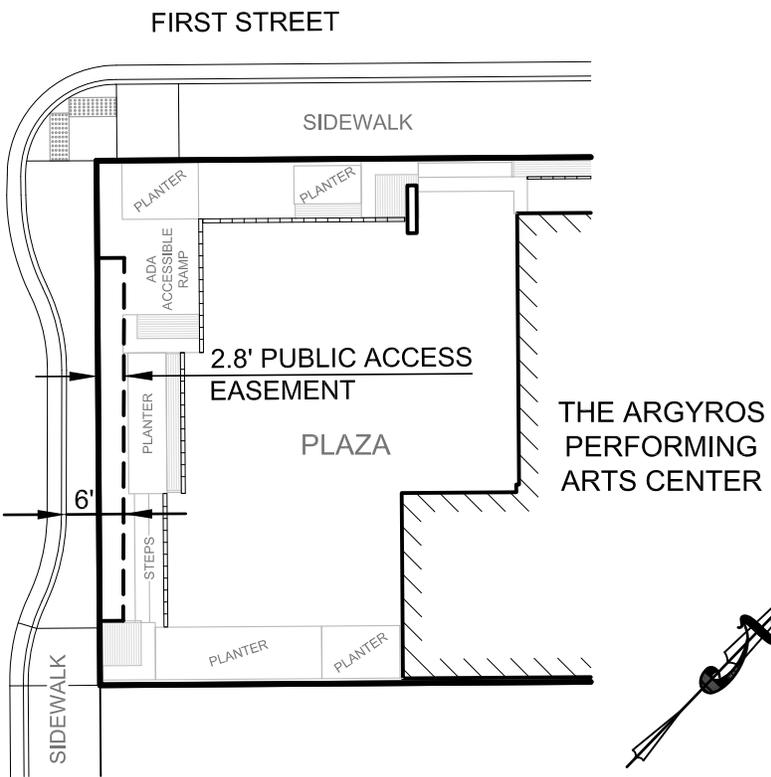
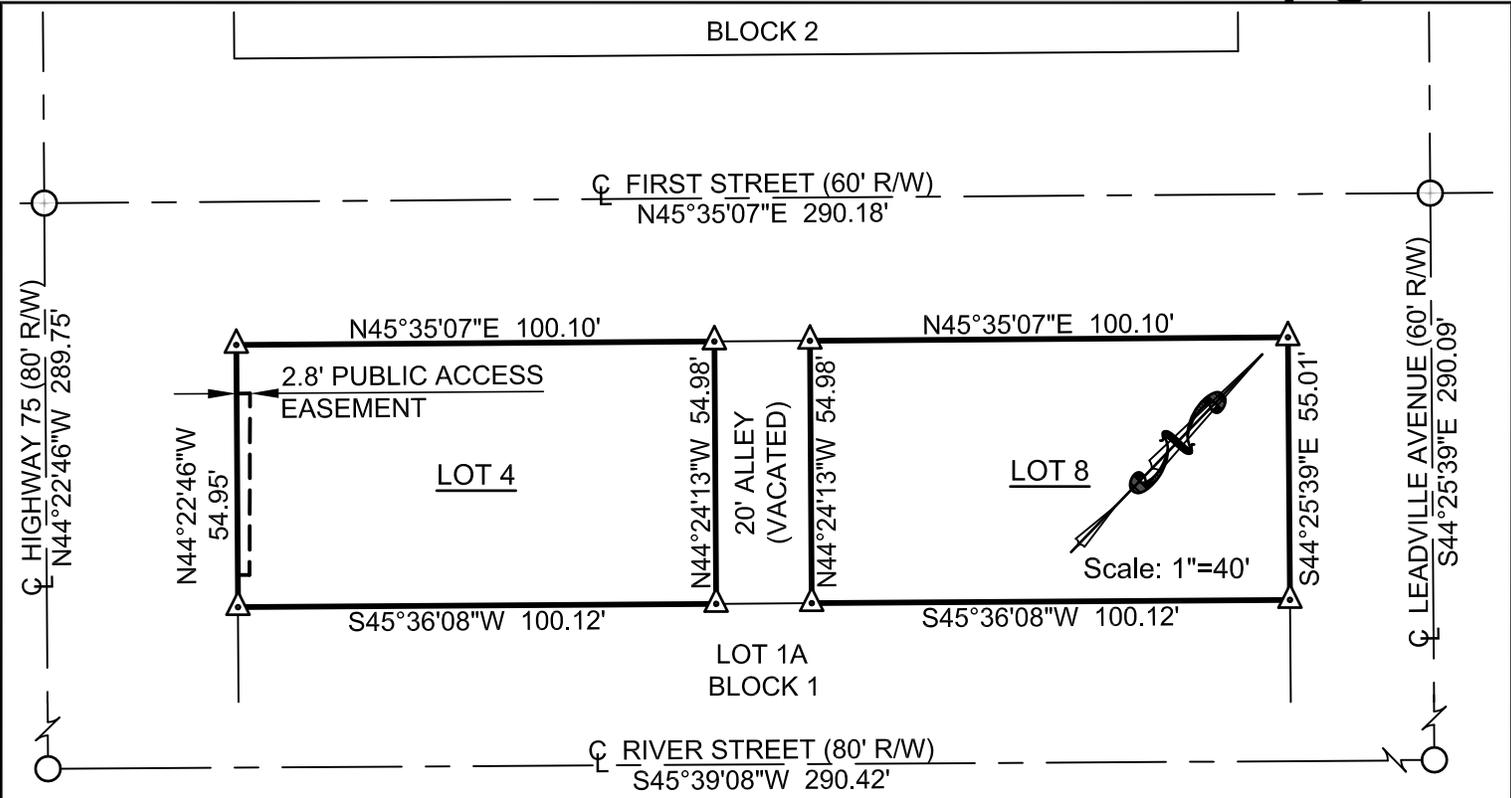
NORTH ELEVATION - AWNING AND EAVE ENCROACHMENTS -
DIAGRAM 4 OF 4

SCALE: 1/16" = 1'-0"

01/28/17

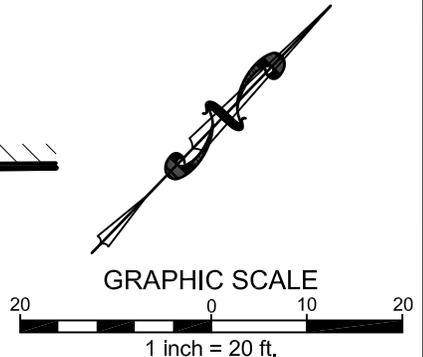
12 4 8





LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline
- Easement
- Curb and Gutter
- Trench Drain
- Building / Structure
- Found 5/8" Rebar
- Calculated Point (not set)



REUSE OF DRAWINGS
 These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

<p>Galena Engineering Inc.</p>	<p>Civil Engineers & Land Surveyors 317 N. River Street Hailey, Idaho 83333 (208) 788-1705 (208) 788-4612 fax email galena@galena-engineering.com</p>	<p>Exhibit A: Public Access Easement The Argyros Performing Arts Center LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO PREPARED FOR SUN VALLEY PERFORMING ARTS CENTER</p>	<p>SHT 1 OF 1</p>
	<p>PROJECT INFORMATION P:\sdsproj\7313\dwg\Construction\7313const_020117.dwg 2/2/2017 7:32:34 AM MST</p>		

Attachment G.

Will Serve Letters

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • Fax: 208.726.8041

January 31, 2017

Sun Valley Performing Arts Center 501©3
Tim Mott, Director
P O Box 1702
Ketchum, ID 83340

Re: The Argyros Performing Arts Center; 2017_01_27 Argyros trash room floor plan 1611.pdf

Dear Mr. Mott,

Please allow this letter to serve that Michael Doty Associates has engaged in conversations with me, regarding a building mentioned above. The conversations have been to the following:

This site will provide space for a dumpster & carts for recycling. There is enough space and access to service the dumpster adequately, utilizing a "Garbage Glider" as indicated on the enclosed plan. This scenario will only work with a mechanized mode of transporting the dumpsters to Leadville Street for servicing, (Snow, Ice, Weight).

This site when finished as per the plans will satisfy any and all concerns for the safe and efficient removal of garbage. I would like to mention that this is an example of high-quality planning that will benefit the owner's of this site and the City. If I may be of further assistance during this process or in the future, please call.

Sincerely,



Mike Goitiandia
Clear Creek Disposal

Enclosure

CC. Brenda Moczygamba

.The Argyros Performing Arts Center - 1



INTERMOUNTAIN GAS COMPANY

A Subsidiary of MDU Resources Group, Inc.

451 Alan Dr. Jerome Idaho 83338 • (208) 737-6300 FAX (208)737-6342

www.intgas.com

Sun Valley Performing Arts Center
Tim Mott, Director
PO BOX 1702
Ketchum Idaho 83340

January 24th 2017

Mr. Tim Mott:

RE: 120 South Main Street, Ketchum Idaho. (The Argyros Performing Arts Center)

This letter is to serve as verification of the availability of natural gas at this time to the above referenced project in Ketchum, Idaho.

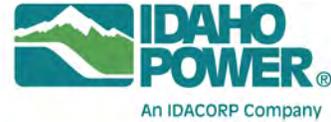
The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs in order to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.

If you need further information regarding this project, please call me at 208-737-6314.

Sincerely,

Lance D. McBride
Consumer Sales Representative
lance.mcbride@intgas.com
208-737-6314



January 27, 2017

Sun Valley Performing Arts Center 501(c) 3
Attn: Tim Mott, Director
PO Box 1702
Ketchum, ID 83340

Re: Inquiry Concerning Electrical Service At:

120 South Main Street, Ketchum, Idaho

Dear Mr. Mott:

You have inquired as to whether the property located at 120 South Main Street, Ketchum, Idaho is within the certificated service territory of Idaho Power Company in the State of Idaho. This letter is to advise you that the property described above is currently located within the certificated service territory of Idaho Power Company (the Company) in the State of Idaho .

The Company will provide electrical service to the above location subject to the obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of the Company on file with the Idaho Public Utilities Commission, in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho Public Utilities Commission.

To request new service, you can contact Idaho Power at 1-800-488-6151 if you are outside the Treasure Valley, or 388-2323. For additional information about new service you can go to our web site at WWW.idahopower.com/ServiceBilling.

Sincerely,

Cyndi D Bradshaw
Sr. Distribution Designer
208-788-8002
cbradshaw@idahopower.com

Attachment H.

Public Comment Received by 5:00 p.m. Wednesday, February 21st, 2017

Carl Anderson

From: Jim Kuehn <jim@svmproperties.com>
Sent: Wednesday, February 15, 2017 9:21 AM
To: Micah Austin
Cc: Nina Jonas; Baird Gourlay; Jim Slanetz; Anne Corrock; Michael David; Carl Anderson; Brittany Skelton; Keshia Owens
Subject: New Main Street Theater

Good morning Micah,

Good Morning,

The Mt. Express makes it sound like you have already approved an amendment (variance) to the Zoning Ordinance regarding FAR's and parking requirements for the new Main St. theater.

I hope that is not true.

We are now entering the building cycle again, after 8 years of dormancy, except for the hotel on Main St. and a few smaller projects.

Until an comprehensive parking study has been done, that includes the build out of the Auberge, the Gateway parcel, the Simplot parcel, River Run Complex and all other smaller infield vacant lots, including the Dirty Little Rodey's, I hope that Planning and Zoning will not be making and parking concessions to future developments, not matter how hard they pull on the community's heart strings.

When we hit our peak occupancy times now, town is getting jammed up, but at this level, it is still "somewhat" manageable. With River Run planned, Auberge coming out of the ground and and unknown future for the Simplot lot, I considerate to be very unwise and not beneficial to the long term health and prosperity to the down town core, to give any variances to the existing housing and parking requirements placed upon future development.

Jim Kuehn

--

James M. Kuehn

Associate Broker - Partner

Coldwell Banker Distinctive Properties

Sun Valley, Idaho

Direct - 208.720.1212

[*jim@svmproperties.com*](mailto:jim@svmproperties.com)

Search Sun Valley Luxury Real Estate

[*http://www.svluxuryre.com*](http://www.svluxuryre.com)

CONFIDENTIALITY NOTE: The information contained in this e-mail is confidential, may be privileged as Agent/Client Communication or Agent Product and is intended only for the use of the party named above. If you have received this e-mail in error, please immediately notify us by telephone at (208)720.1212 and destroy this e-mail. Thank you.

Attachment I.

Public Comments Received Previously for Pre-Design Review

NexStage Comments:

-----Original Message-----

From: Gail Thornton [<mailto:gailthornton11@gmail.com>]

Sent: Monday, November 07, 2016 10:44 AM

To: Micah Austin <maustin@ketchumidaho.org>

Cc: jim.d.darrison@outlook.com

Subject: NextStage project

We understand that P and Z and the Ketchum commissioners will be reviewing on November 14th the proposed Next Stage theater project. We would like to register our support for this project because of it's tremendous value to our community. There will be no better way for all the members of our community to come together in such a special place to enjoy the performing arts in all it's shapes and forms than at the newly designed theater. We feel it is the perfect use for that building and will be a welcome addition to the "entrance" to our town. Please support this worthy and exciting project!!

Sincerely,
Gail and Jack Thornton

Sent from my iPad

Dear Michah - I am writing to you in support of the upcoming building project at the nexStage Theater, Ketchum, that will be brought to the attention of the Ketchum Planning and Zoning Commission this month. As a long time valley resident, since 1980, I have been involved in numerous discussions and committees towards a professional theater space for our community at the north end of the valley that will serve both local, regional and national performing arts organizations to enrich our community with cultural arts. When nexStage came into being it was our first step towards this goal. The newest project to use the land and rebuild a state of the arts facility that will accommodate more needs in the arts is greatly needed. I have been involved listening to the planning of this new project and find it well researched, community involvement by our local arts community and sound plan for its success, and thus support the project.

I hope that the planning committee embraces the opportunity to see this theater becomes a reality in Ketchum.

Thank you for your time.

Sincerely,

Hilarie Neely, Director
Footlight Dance Centre
Hilarie Neely, director



Footlight Dance Centre

PO Box 3593 Ketchum ID 83340

Phone 208-578-5462

www.footlightdancecentre.com

NexStage comment:

From: Rob McGowan [<mailto:rob@arsunvalley.com>]

Sent: Monday, November 07, 2016 9:58 AM

To: Micah Austin <maustin@ketchumidaho.org>

Subject: nexstage

Micah,

Good morning. Hope this finds you well. I simply wanted to drop you a quick note and let you know how thrilled I am with the prospect of the new Nexstage theatre vision. I had the pleasure of hearing about the plan some time back and have since taken a look at the rendering. We as a town would be incredibly fortunate to have this addition. The project, the people involved and the end result are all first class. I am in FULL support of this project. Please feel free to reach out to me if I can be of any help with regard to this project moving forward.

Best,

R o b

rob mcgowan

architectural resources

350 walnut ave. ketchum. id.83340

t. 208.928.6379

www.arsunvalley.com

B&B
ITALIA

Poliform
FLEXFORM

NexStage comments:

From: sallie@salliecastle.com [<mailto:sallie@salliecastle.com>]

Sent: Monday, November 07, 2016 5:29 PM

To: Micah Austin <maustin@ketchumidaho.org>

Subject: Nexstage

Dear Micah

I'm writing in support of the plans for the Nexstage theater. it is the answer to our lack of venue space for all of performing arts organizations. Such a space will also attract top level talent and in turn, visitors. It's location will complement the Limelight and Auberge. Visitors and locals will be able to walk to dinner after performances further boosting our restaurants. This project will add to the, soon to be realized, fabulous entrance to Ketchum.

Everyone I have spoken with about this proposal is excited. Since no variances are required, I hope that Nexstage plans can easily pass through P&Z and begin the building process.

Sincerely,

Sallie Castle

NexStage comment:

-----Original Message-----

From: Sarah Woodward [<mailto:drawdoow5@aol.com>]

Sent: Monday, November 07, 2016 12:48 PM

To: Micah Austin <maustin@ketchumidaho.org>

Cc: jim.d.garrison@outlook.com; planning@ketchumidaho.org

Subject: Next stage Project

To whom this may concern,

I'm writing this letter to offer 100% support for Tim Mott and his plans to develop a new performing arts space where the Next Stage is currently located.

I am a full time resident of Ketchum and a board member of The Center for the Arts.

Our town will benefit from a performing arts building for many obvious reasons.

Thank you very much

Sarah Woodward

Sent from my iPhone

NexStage Comment:

From: Teddy Grennan [<mailto:tedgrennan@gmail.com>]

Sent: Monday, November 07, 2016 6:45 AM

To: Micah Austin <maustin@ketchumidaho.org>

Cc: jim.d.garrison@outlook.com

Subject: nexStage // Sun Valley Film Festival

Good morning Micah

Teddy Grennan here with the Sun Valley Film Festival to express our enthusiasm with the momentum Team Mott has developed with what we think will be one of the most important addresses in Idaho. Our goal for 2020 is to turn the town's film festival into a week long cultural experience and this, truly, would not be possible without what the nexStage ("Next Stage"?) promises to be.

However we can help in any way, please let us know and we're very grateful to all involved for making the nexStage happen.

Best, Teddy

--

TG



City of Ketchum
Planning & Building

IN RE:)
)
Cutter Residence)
Mountain Overlay Design Review) **KETCHUM PLANNING AND ZONING COMMISSION**
) **FINDINGS OF FACT, CONCLUSIONS OF LAW AND**
) **DECISION**
File Number: #17-003)

BACKGROUND FACTS

PROJECT: Cutter Residence

OWNERS: Ed and Susan Cutter

REPRESENTATIVE: Anderson Architecture P.A.

REQUEST: Mountain Overlay Design Review approval for a remodel to an existing single-family residence located in the Limited Residential zoning district (LR).

LOCATION: 820 Walnut Ave (Lot 2, block 93, Ketchum Townsite, Ketchum, Idaho)

ZONING: Limited Residential (LR)

OVERLAY: Mountain Overlay

NOTICE: Notice was mailed to Property owners within 300-foot radius of subject property on January 20th, 2017. Notice was posted in three public City locations on January 20th, 2017.

NOTICE OF SITE VISIT AND CONSIDERATION BEFORE THE PLANNING AND ZONING COMMISSION

Site Visit Date:	February 13, 2017
Site Visit Time:	5:00 PM
Site Visit Location:	820 Walnut Avenue, Ketchum, Idaho (Ketchum Lot 2 Block 93 8250 SF)
Meeting Date:	February 13, 2017
Meeting Time:	5:30 PM, or thereafter as the matter can be heard.
Meeting Location:	City Hall Council Chambers, 480 East Avenue North, Ketchum, Idaho
Project Name:	Cutter Residence
Project Location:	820 Walnut Avenue, Ketchum, Idaho (Ketchum Lot 2 Block 93 8250 SF)
Applicant:	Edward and Susan Cutter
Representative:	Anderson Architects, P.A.
Application Type:	Mountain Overlay Design Review
Project Description:	The Commission will consider and take action on an application for a Mountain Overlay Design Review application for the construction of a new single-family residence.

BACKGROUND

1. The public hearing for the requested Mountain Overlay Design Review occurred on February 13th, 2017. There the proposed project was approved 4-1 by the Planning and Zoning Commission.

2. The subject property is located in the Limited Residential (LR) zoning district and within the Mountain Overlay zone. The site contains one existing single-family residence, 820 Walnut Avenue (Eighth & Washington Bldg. Condo; Lot 2A, Block 22 Ketchum Townsite). The applicant is proposing to remodel and add to the existing structure, which was constructed in 1953, prior to the city’s incorporation and adoption of zoning regulations. All new construction will occur within the permitted height and setbacks for the site. The remodeled portion of the building will not encroach further into the existing nonconforming setbacks.

FINDINGS OF FACT

Table 1: Requirements for All Applications

City Department Comments			
City Standards and <i>Staff Comments</i>			
Compliant		City Code	17.96.040
Yes	No	N/A	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Police Department: None at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Fire Department: The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</p> <p>IF a monitored fire detection system exists or is installed, it shall meet NFPA 72 and be monitored by an approved alarm monitoring station. An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department.</p> <p>Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.</p> <p>Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.</p> <p>An approved access roadway per 2012 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%.</p> <p>Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. (This home will require four (4), 5 lbs. fire extinguishers). Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.</p> <p>Final inspections of all fire department required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>City Engineer: Sidewalks are not required.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Streets: We are willing to move forward with current plans, however the applicant may be required to modify drainage plans when the snow melts and the site is reviewed by Streets.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilities: Utilities has no comments for D/R. There is an issue with water service line size that will need to be addressed in the permitting process.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parks/Arborist: None at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: None at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the staff report.

Table 2: Zoning Standards Analysis

Compliance with Zoning Standards				
Compliant			Standards and Commission Comments	
Yes	No	N/A	Guideline	City Standards and <i>Commission Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Lot Area
			<i>Commission Comments</i>	Required: 9,000 square foot minimum. Existing: The lot is 0.189 acres or 8,232.84 square feet. The lot, which was platted prior to the adoption of the city's first zoning code, has an existing non-conforming lot area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030 & 17.128.020.C	Setbacks and Supplementary Yard Requirements
			<i>Commission Comments</i>	<p>The existing building has a non-conforming front setback from the western property line and non-conforming side setbacks from both the north and south sides of the property, based on the height of the existing building. The existing setback from the front of the property (N Walnut Ave.) is non-conforming at 4'-5"; this existing setback will be maintained. The existing side yard setbacks are 4'- 7 1/4" (N) and 10'- 8 3/8" (S), respectively.</p> <p>The required rear setback in the LR zone is 20' and the proposed rear setback is 41'.</p> <p>The non-conforming setbacks for the portions of the existing structure that will be remodeled will be maintained. All newly constructed additions will conform to the setbacks required currently by the zoning code.</p> <p>Front (West Elevation) Required: 15'-0" Existing non-conforming: 4'- 5" Proposed: 4'- 5"</p> <p>Side (North Elevation) Required: The greater of 1' for every 2' in building height, or 10' (14'-11.22") Existing non-conforming: 4'- 7 1/4" Proposed addition: 14'-11.34"</p> <p>Side (South Elevation) Required: The greater of 1' for every 2' in building height, or 10' (14'-11.22") Existing non-conforming: 10'- 8 3/8" Proposed addition: 14'-11.38"</p> <p>Rear (East Elevation) Required: 20' -0" Existing: 53'-6" Proposed addition: 41' - 0"</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage
			<i>Commission Comments</i>	<p>Permitted: 35%</p> <p>Proposed: 35%</p> <p>The lot is 8,232.84 square feet and the building footprint is 2,879.11 square feet.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			<i>Commission Comments</i>	<p>Permitted: Maximum building height permitted in the LR zoning district is thirty-five feet (35'). A five foot (5') increase in height is permitted when the maximum vertical distance from the lowest exposed finished floor to the highest point of the roof shall be no more than five feet (5') greater than the maximum height permitted in the zoning district.</p> <p><i>Height of building:</i> The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. This building height provision shall apply to parapets, boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lighting rods, weather vanes, antennas or chimneys.</p> <p>Existing: The height of the existing residence is 29'-10 ¾".</p> <p>Proposed: The height of the proposed residence is 30'-10 ¾".</p> <p><i>Note:</i> The existing height was used to determine the required setbacks for the site, due to the nature of the construction and difficulty surrounding the existing slope of the driveway, the height of the structure will measure 1' taller when measured from proposed finished grade. See correspondence with staff attached to the staff report.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut
			<i>Commission Comments</i>	<p>Required: 17.125.030: Off Street Parking Space H. A maximum of thirty five percent (35%) of the linear footage of any street frontage can be devoted to access to off-street parking.</p> <p>Proposed: The applicant is proposing to retain the existing non-conforming 20' curb cut, which equates to 36% of the street frontage of the 55' wide lot.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.050	Parking Spaces
			<i>Commission Comments</i>	<p>Required: The off street parking standards apply when an existing structure or use is expanded or enlarged. Additional off street parking spaces shall be required only to serve the enlarged or expanded area, not the entire building or use. <i>Dwelling, One-family: 1.5 spaces per dwelling unit</i></p> <p>Proposed: The applicant is proposing 3 parking spaces contained within the garage.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.136	Nonconforming Uses and Nonconforming Buildings
			<i>Commission Comments</i>	<p>The existing Residence has non-conforming setbacks at the front and both sides of the property. Section 17.136.050 Enlargement of a Nonconforming Building or a Nonconforming Use states, "A nonconforming uses shall not be enlarged or extended so as to increase the degree of nonconformity, except in the community core district where one-family dwellings may increase their original square footage by 20%. Additions and/or enlargements to existing buildings are not considered to be nonconforming or to increase the degree of nonconformity, so long as the additions and/or enlargements comply with the following:</p> <ul style="list-style-type: none"> A. Any additional square footage may be subject to the current requirements of the underlying zone district at the discretion of the planning and zoning department head. B. Fifty percent (50%) of the building footprint and exterior walls of a Nonconforming Structure must remain unaltered."

				<p><i>Additionally, 17.136.070 Structural Changes states, “Any building or structure containing a nonconforming use or any nonconforming building or portion declared unsafe by the city building inspector may be strengthened or restored to a safe condition.”</i></p> <p><i>The applicant has provided a structural assessment from Matt P. Morell, P.E., of Morell Engineering, P.C., which is contained in the staff report; the structural assessment found that the existing foundation does not meet current building code structural requirements and utilization of the existing concrete walls or foundation in a remodel or addition was not recommended. The City Building Inspector has reviewed the findings from the structural assessment and found that:</i></p> <p><i>“After reading the report from Matt Morrell Engineering, dated 1/31/17, I accept the findings and deem this structure unsafe in the event of a seismic event. I am willing to work with the city requirements to bring this property to compliance with both building and city codes. Referencing Ordinance 17.136.070, a permit will be required to bring the structure up to current building code”</i></p> <p><i>Based on these findings, Staff finds and the Commission agrees that the building may be strengthened or restored to a safe condition</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.18.020, 17.12.020, & 17.08.020	Zoning Matrix & Definitions
			Commission Comments	<p>17.18.020 - A. Purpose. <i>The purpose of the LR limited residential district is to identify and preserve residential properties, to prevent overcrowding of land in order to preserve natural features and openness and to encourage the development of low density areas suited for single-family residential purposes.</i></p> <p>17.08.020 – Definitions Dwelling, One-Family: A detached building containing a single dwelling unit used by one family for Residential Occupancy, having not less than one bathroom. Proposed: <i>The applicant is proposing to expand the existing single-family residential use.</i></p> <p>17.12.020 (A) Zoning Use Matrix Overlay Districts. Regardless of whether the District Use Matrix lists a use type as permitted, permitted with approval of a conditional use permit or permitted as an accessory use to a principle use, the use type shall be further regulated and prohibited if listed as a prohibited use in any applicable overlay district.</p>

Table 3: Standards for Mountain Overlay Design Review

IMPROVEMENTS AND STANDARDS: 17.104.070 – Mountain Overlay Design Review:				
The following list of criteria and those contained in section 17.96.080 of this title must be considered and addressed by each applicant seeking design review approval.				
Yes	No	N/A	City Code	City Standards and <i>Commission Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (1)	There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the city or within the city. “Material”, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;
			Commission Comments	<i>The existing structure and proposed remodel and addition complies with this requirement, and does not propose a building on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering the city or within the city.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (2)	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the city or within the city shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;
			<i>Commission Comments</i>	<i>The applicant will comply with this requirement throughout the construction process.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (3)	Driveway standards as well as other applicable standards contained in chapter 12.04 of this code shall be met;
			<i>Commission Comments</i>	<i>The proposed driveway will meet all driveway standards, as well as other applicable standards, prior to the issuance of a building permit. The applicant is working with the Streets Department to comply with all driveway standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (4)	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building;
			<i>Commission Comments</i>	<i>The proposed reconstruction of the Cutter Residence complies with this requirement.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (5)	Significant rock outcroppings shall not be disturbed;
			<i>Commission Comments</i>	<i>There are no significant outcroppings identified on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (6)	International building code (IBC) and international fire code (IFC) and Ketchum fire department requirements shall be met;
			<i>Commission Comments</i>	<i>The applicant shall comply with all International building code (IBC) and international fire code (IFC) and Ketchum fire department requirements prior to the issuance of a certificate of occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (7)	Public water and sewer service shall comply with the requirements of the city;
			<i>Commission Comments</i>	<i>The applicant will coordinate with the Ketchum Utilities department prior to the issuance of a building permit to ensure that all water and sewer lines comply with the requirements of the city.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (8)	Drainage shall be controlled and maintained to not adversely affect other properties;
			<i>Commission Comments</i>	<i>The City Engineer has reviewed the proposed plans and has not expressed any concerns regarding site drainage. Site drainage is proposed onsite and will be inspected prior to issuance of a certificate of occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (9)	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides;
			<i>Commission Comments</i>	<i>The site contains minimum cuts for driveways in order to come into compliance with city standards and provide access to the residence. The existing curb cut is not being expanding and the applicant is coordinating with the City Streets Department to regrade the driveway. The applicant may need to make minor alterations to the proposed driveway upon receiving further direction for the Streets Department, prior to the issuance of a building permit. The existing grade of the site is maintained to a large extent.</i> <i>The applicant will irrigate the proposed landscape planting and the City Arborist does not have any concern with the proposed plant species, therefore the commission does not have any concern with the lack of a thirty-foot (30') clear zone.</i> <i>Note: This is an original Ketchum Townsite lot that is fifty-five (55') wide, due to the location of the existing residence on the site, a 30' clear zone is not achievable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (10)	Are there other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section;
			<i>Commission Comments</i>	<i>The applicant has utilized the area most suitable for development. The existing portion</i>

				<p><i>of the building, with non-conforming setbacks, will be remodeled entirely within the existing building envelope. The newly constructed additions will be constructed within setbacks currently required by the code.</i></p> <p><i>The existing portion of the building is sited nearest the property access at N. Walnut Ave. The largest setback will be from the rear property line, which is the steepest and highest elevation portion of the site.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (11)	<p>Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties;</p> <p><i>Commission Comments</i> <i>The existing driveway is located to the front of the lot. The applicant has worked with the Public Works department to ensure that proposed driveway will not have a significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (12)	<p>Utilities shall be underground;</p> <p><i>Commission Comments</i> <i>The applicant is aware of this requirement and indicates that all of the onsite utilities will be placed underground.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (13)	<p>Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction;</p> <p><i>Commission Comments</i> <i>The limits of disturbance include the majority of the lot because the project consists of remodeling and adding to an existing structure on a relatively small lot of a non-conforming lot size. The applicant has shown the proposed construction fence on the proposed landscape plan in order to mitigate disturbance.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (14)	<p>Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized; and</p> <p><i>Commission Comments</i> <i>There are no proposed excavations or fills not associated with building construction. New retaining walls are indicated, on the proposed site plan, in all areas where excavation occurs.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (15)	<p>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</p> <p><i>Commission Comments</i> <i>No significant landmarks have been identified.</i></p>

Table 4: Design Review Standards for all projects

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Commission Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	<p>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</p> <p><i>Commission Comments</i> <i>The property is currently served by an existing city street, N. Walnut Ave. The applicant will regrade and reconstruct the driveway accessing the city street in order to meet current city standards.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(2) Streets	<p>All street designs shall be approved by the City Engineer.</p> <p><i>Commission Comments</i> <i>The applicant has coordinated with the Public Works Director/ City Engineer on street design. The driveway and curb cut shall receive final approval from the city of Ketchum Streets Department and City Engineer before a building permit is issued.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	<p>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</p> <p><i>Commission Comments</i> <i>N/A</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	<p>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</p> <p><i>Commission Comments</i> <i>N/A</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(3)	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ol style="list-style-type: none"> The project comprises an addition of less than 250 square feet of conditioned space. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Commission Comments</i>	<i>Due to the nature and location of the project, sidewalks are not required for this project. Please note the City Engineer's comments found in Table 1.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Commission Comments</i>	N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Commission Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Commission Comments</i>	<i>The Commission does not recommend a contribution in-lieu for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Commission Comments</i>	<i>The applicant has satisfied this requirement and all storm water is retained on site, or directed to existing drainage patterns.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Commission Comments</i>	<i>All drainage improvements meet this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Commission Comments</i>	<i>Additional drainage improvements are not recommended at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Commission Comments</i>	<i>Drainage facilities meet this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Commission Comments</i>	<i>The applicant is aware of this requirement and the plans detail the improvements to the existing utilities. The applicant will coordinate with the Ketchum Utilities Department to address the water service line size prior to the issuance of a building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Commission Comments</i>	<i>The site is currently served by utilities that have been located underground and/or concealed from public view.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Commission Comments</i>	<i>No utility extensions are proposed. In the event that the applicant extends the utilities, they will comply with this requirement prior to the issuance of a Certificate of Occupancy.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Commission Comments</i>	<i>As indicated in the renderings, materials appear to be in keeping with the architecture and overall design of the surrounding properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Commission Comments</i>	<i>There are no identified landmarks on the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Commission Comments</i>	<i>The structure was built after 1940, in 1953.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Commission Comments</i>	<i>Walnut Avenue is currently not served by a sidewalk. Pedestrian access is obtained via the shoulder of the existing avenue. Should a sidewalk be constructed in the future the residence will have access to the sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Commission Comments</i>	<p><i>All new construction will occur within the permitted height and setback requirements for the site.</i></p> <p><i>The southern façade, which fronts N Walnut Ave, is the most visible faced. As viewed from the street, the structure has nearly a 1:1 ratio of height to width. However, the form of the structure is broken up by three distinctive masses, which are the garage, the new addition connecting the garage to the primary structure, and the two-story primary structure. The offset arrangement of the masses, including the stepped back location and appearance of the two-story primary structure creates a balanced and pleasing composition when viewed from the street. Although the building is slightly more vertical in form, the applicant utilizes horizontal elements within on the façade of each mass, in the form of horizontal siding and masonry and the flat roof lines, and in accent details, such as railings. Additionally, the ample use of glazing that is vertical in form on the new addition connecting the garage to the primary structure and on primary structure contrast with the horizontal elements in a complementary fashion and serve to further reduce the appearance of bulk.</i></p> <p><i>The visual impact of the height of the building at the north and south faced is unobtrusive when viewed from the street as the residence is set into the hillside. Additionally, the existing douglas firs along the side property lines provide screening to the structure when viewed from the street.</i></p> <p><i>The rear of the property abuts the hillside and there are no streets or improved alleyways behind the property, therefore the visual impact of the height of the building from the rear is not minimal to surrounding properties.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Commission Comments</i>	<i>There is a continuity of materials in theme as submitted by the applicant. The applicant has utilized a combination of natural materials throughout the exterior of the residence: painted wood siding, thin veneer sand stone, and smooth wall metal siding. The wood siding, sandstone veneer, and metal share the muted sandstone hue. A series of darker features have been added to provide contrast to the building and break up the bulk of the building including dark bronze aluminum clad windows and doors, dark hued power coated railings, and an opaque medium-grey hued glass garage door with dark bronze framing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Commission Comments</i>	<i>The proposed landscape features run along all sides of the residence and are complementary to the residential structure in material, texture, and hue. The proposed landscape walls consist of a medium grey poured concrete site wall, a dry</i>

				stack retaining wall, and dry stack boulders designed to add relief to the proposed landscape. The hues in the landscape walls and pavers are in harmony with the colors present in the residential structure. The proposed landscaping consists of existing evergreen trees and the addition of drought tolerant native plantings. The City Arborist has reviewed the proposed landscape plans and has no concerns at this time regarding plants selected for the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Commission Comments</i>	<i>The proposed elevation views provided by the applicant show that all of the exterior walls provide undulation and relief, serving to reduce the appearance of bulk and flatness. The variation in material and material color palette provides depth to all facades of the building. Changes in roof height and the multiple distinctive masses also serve to break up the bulk of the residence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Commission Comments</i>	<i>The front entrance of the building orients towards Walnut Avenue, which is the primary street frontage.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Commission Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Commission Comments</i>	<i>N/A. The proposed project is for private residential use.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Commission Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Commission Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Commission Comments</i>	<i>The current driveway and site conditions connecting to Walnut Avenue meets this condition. Any alterations to the proposed driveway design, and landscaping which may impact sight distances, shall receive approval from the city of Ketchum Streets Department, City Engineer and City Arborist.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Commission Comments</i>	<i>The location of the curb cut meets this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Commission Comments</i>	<i>The site can be accessed from Walnut Avenue via a private driveway, providing unobstructed access for emergency vehicles, snowplows, and garbage trucks. Any alterations to the proposed driveway design shall receive approval from the city of Ketchum Fire Department prior to this issuance of a building permit.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Commission Comments</i>	<i>Because this is a residential project, snow storage is not required for this site. Additionally, the applicant is proposing snow-melt terrace and driveway pavers.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Commission Comments</i>	<i>N/A. See above.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Commission Comments</i>	<i>N/A. See above</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Commission Comments</i>	<i>N/A. See above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Commission Comments</i>	<i>The City Arborist has reviewed the proposed landscape plans and has no concerns at this time. Landscaping is provided and denoted in the landscaping plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Commission Comments</i>	<i>The applicant has meet this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Commission Comments</i>	<i>The applicant has meet this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Commission Comments</i>	<i>The applicant has met this requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Commission Comments</i>	<i>No additional amenities are proposed.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code.
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning code, Title 17.
3. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Code Title 17.
4. The City of Ketchum Planning Department provided adequate notice for the review of this application.
5. The project **does** meet the standards of approval under Chapter 17.104 of Zoning Code Title 17.
6. Mountain Overlay Design Review approval shall expire one (1) year from the date of approval;
7. Mountain Overlay Design Review elements shall be completed prior to final inspection/occupancy;

8. This Mountain Overlay Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and zoning commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
9. All required public improvements shall be installed by the applicant and approved by the Public Works Department prior to issuance of the Certificate of Occupancy;
10. In addition to the requirements set forth in this Mountain Overlay Design Review approval, this project shall comply with all applicable local, state and federal laws.
11. This Mountain Overlay Design Review approval is based on representations made and other components of the application presented and approved at the meeting on February 13th, 2017;

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Mountain Overlay Design Review application this Monday, February 13th, 2017 subject to the following conditions:

1. All departmental conditions as described in table 1 shall be complete prior to a certificate of occupancy;
2. Design Review elements shall be completed prior to final inspection/occupancy;
3. Construction fencing at the limits of disturbance shall be located on the site as approved by the Planning Department prior to any excavation or earthwork;
4. Any work in the right-of-way will require a right-of-way encroachment permit, reviewed and approved by the City before installation;
5. The final driveway design shall be reviewed and approved by the City Streets Department and City Engineer; and
6. The applicant will coordinate with the City Utilities Department to address any issues with the water service line size prior to the issuance of a building permit.

Findings of Fact **adopted** this 27th day of February, 2017.

Jeff Lamoureux
Planning and Zoning Commission Chairperson

Commissioners Present: Jeff Lamoureux, Chairperson
Erin Smith, Vice-Chairperson
Matthew Mead, Commissioner
Betsey Mizell, Commissioner
Neil Morrow, Commissioner

Staff Present: Micah Austin, Director of Planning & Building
Brittany Skelton, Senior Planner
Carl Anderson, Associate Planner
Keshia Owens, Planning Technician

Members of the Public

1. **5:00 PM SITE VISIT: 820 Walnut Avenue, Ketchum, Idaho**
2. **5:30 PM - CALL TO ORDER: City Hall, 480 East Avenue North, Ketchum, Idaho**

Commissioner Lamoureux called the meeting to order at 5:31 PM.

3. **PUBLIC COMMENT - Communications from the public for items not on the agenda.**

Gary Lipton commented on Bracken station by saying that if anyone has tried to drive down Tenth and Highway 75 they have seen how much snow has accumulated in the area. He added that if there is an appeal for the project a light will need to be put in at that same intersection.

4. **COMMUNICATIONS FROM STAFF**

- a. **The Commission will consider and take action on an application for a Mountain Overlay Design Review application for the remodel and addition to a single-family residence.**

COMMENTS:

Pete Anderson, Architect, detailed the project and said that the new structure will meet all zoning setbacks and standards. He commented that they are proposing to enlarge the floor plan of the existing garage and will be expanding the house to accommodate existing square footage. He later stated that he met with the Planning Department to discuss wall heights and commented on the City's code for upgrading the non-conforming structures.

Rob King, Landscape Architect, explained the landscaping of the project and pointed out that the existing grade of the driveway will be flattened. He then explained the location of stairways, stones, a patio, access to the back of the house, and a subsurface drywell. He noted the various native plantings that will be used to screen the property and explained the materials that will be used in the style of the home.

Carl Anderson, Associate Planner, said that the project is completely within the Mountain Overlay Zone. He commented that the project was properly noticed by mail and posting and stated that the project complies with the requirements of the Mountain Overlay zone. He commented that the project was circulated to city staff for questions and comments and explained that the Public Works Department recommended the following conditions:

- The final driveway design shall be reviewed and approved by the City Streets Department and City Engineer.
- The applicant will coordinate with the City Utilities Department to address any issue with the water service line size prior to the issuance of the building permit.

Commissioner Smith motioned to approve the application from owners Ed and Susan Cutter and representative Anderson Architecture P.A. for the Mountain Overlay Design Review application, finding the application meets the standards for approval under Chapter 17.104 of Ketchum Zoning Code Title 17 with the following conditions: one through nine.

Commissioner Mead seconded.

RESULT:	ADOPTED [3 TO 2]
MOVER:	Erin Smith, Commissioner
SECONDER:	Matthew Mead, Commissioner
AYES:	Neil Morrow, Matthew Mead, Betsy Mizell
NAYS:	Jeff Lamoureux, Erin Smith

b. The Commission will consider and take action on an application for a Conditional Use Permit application for a live-work studio.

COMMENTS:

Carl Anderson, Associate Planner, said that the applicant is Lynn Knudson and she is requesting to have an art studio and a residential unit in the LI. He added that the application is subject to residential light industrial standards and has met all noticing requirements. He detailed the history of the project and explained the zoning standards for the Light Industrial-2 and added that parking will be the only change to the standards for LI development.

Smith asked whether the building will have any cooking classes and Anderson clarified that the building official and fire marshal would not allow any cooking classes until it meets the requirements of the IBC and IFC.

Smith asked for a visual graphic of the building and Anderson clarified that the staff report contains plans for the project.

Commissioner Smith made a motion to continue the application to a date certain of February 27, 2017. Commissioner Mizell seconded.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Erin Smith, Commissioner
SECONDER:	Betsy Mizell, Commissioner
AYES:	Mead, Morrow, Lamoureux, Smith, Mizell

- c. **City-initiated text amendments to the City of Ketchum Municipal Code to amend Title 17 - Zoning Regulations, Chapter 17.96, Design Review, and Chapter 17.88, Floodplain Management Overlay Zoning District (FP) in order to permit administrative review of developments meeting specified criteria.**

COMMENTS:

Micah Austin said there are three changes that are being proposed that would exempt certain projects from coming to the Planning and Zoning Commission. He explained that by the time most floodplain, design review and ADUs under 1,200 square feet come to the Commission, they have already been reviewed administratively and Staff would like to continue this process.

Skelton said that the same standards that have applied to floodplain development since the ordinance was adopted will be kept. She also added that communities like Ketchum that have stricter floodplain standards continue to use administrative processes for similar applications. She explained that she feels comfortable with a switch to an administrative review process because the criteria that Ketchum has adopted meets FEMA's requirements and the City's construction standards for floodplain development are also very strong.

Commissioner Mizell made a motion to recommend approval of the first two text amendments to sections 17.96 and 17.88 to the City Council, provided that the floodplain regulations stay the same and noticing requirements remain the same.

- d. **Ordinance Adoption Discussion**

Austin said that the Dark Sky Ordinance Amendments were brought to City Council at their last meeting. He detailed the Dark Sky Ordinance's background and stated that it is a model ordinance for many communities, even though it is outdated. He explained that the proposed ordinance has several goals like strengthening certain sections by removing "encourage" and "discourage" and changing text to "shall" or "shall not." He also explained the proposed restrictions on color temperature, establishing standards for holiday lighting, removing technological references from text, and references to lumens.

Directives:

- Look at curfew and holiday lighting, which should be different for residential and commercial lighting
- Kelvin number and security
- Narrowing holiday lighting window on the November end

- e. **Dark Sky Ordinance Discussion**

5. CONSENT CALENDAR

- a. **Minutes: January 9, 2017**

COMMENTS - Current Meeting:

Commissioner Smith made a motion to approve the minutes from January 9, 2017 as amended.

Commissioner Mead seconded.

- b. **Bracken Station Conditional Use Permit**

COMMENTS:

Commissioners Mead and Morrow recused themselves.

Commissioner Smith made a motion to approve the Bracken Station conditional use permit findings of fact dated the 13th of February, 2017.

No seconder.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Erin Smith, Commissioner
SECONDER:	
AYES:	Lamoureux, Smith, Mizell
RECUSED:	Mead, Morrow

6. FUTURE PROJECTS AND NOTICING REQUIREMENTS

Upcoming projects:

- Argyros (Nexstage Theater) text amendment and a full design review
- Knudson CUP
- 231 Sun Valley Road Design Review

7. STAFF REPORTS & CITY COUNCIL MEETING UPDATE

8. Commission reports and ex parte discussion disclosure

9. ADJOURNMENT

Commissioner Mizell motioned to adjourn and Commissioner Morrow seconded.

Jeff Lamoureux
Planning and Zoning Commission Chair